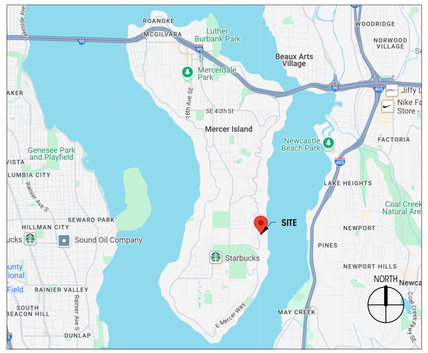
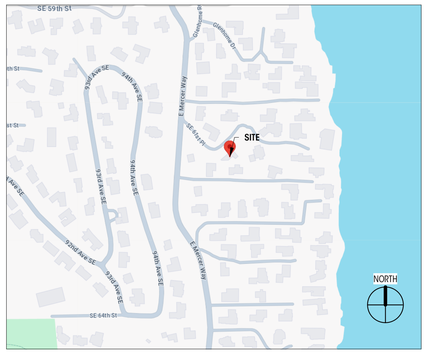
VICINITY PLAN



LOCATION PLAN



ABBREVIATIONS

ABV	ABOVE	INT	INTERIOR
AFF	ABOVE FINISH FLOOR	LOC	LOCATE, LOCATION
ADDL	ADDITIONAL	MAX	MAXIMUM
ADJ	ADJUSTABLE	MFR	MANUFACTURER
ALT	ALTERNATE	MECH	MECHANICAL
APPROX	APPROXIMATELY	MTL	METAL
ARCH	ARCHITECT, ARCHITECTURAL	MIN	MINIMUM
B.O.	BOTTOM OF	(N)	NEW
BLW	BELOW	NTS	NOT TO SCALE
BSMT	BASEMENT	O/	OVER
BTW	BETWEEN	O.C.	ON CENTER
BLD	BUILDING	PLY	PLYWOOD
CAB	CABINET	PRELIM	PRELIMINARY
CALC	CALCULATION	PT	PRESSURE-TREATED
CLG	CEILING	PTD	PAINTED
CL	CENTERLINE	PL	PROPERTY LINE
CLR	CLEAR	REFR	REFRIGERATOR
COL	COLUMN	REINF	REINFORCE, REINFORCING
CONC	CONCRETE	REQD	REQUIRED
CONST	CONSTRUCTION	RO	ROUGH OPENING
CONT	CONTINUOUS	SAF	SELF-ADHERED FLASHING
CONTR	CONTRACTOR	SCHED	SCHEDULE
DEMO	DEMOLISH	SW	SHEARWALL
DIA	DIAMETER	SIM	SIMILAR
DIM	DIMENSION	SF	SQUARE FOOT
DS	DOWNSPOUT	SOG	SLAB ON GRADE
DW	DISHWASHER	SPECS	SPECIFICATIONS
DBL	DOUBLE	SRC	SEATTLE RESIDENTIAL CODE
EA	EACH	SSTL	STAINLESS STEEL
ELEC	ELECTRIC, ELECTRICIAN	STL	STEEL
ELEV	ELEVATION	STRUCT	STRUCTURE, STRUCTURAL
ENGR	ENGINEER	TBD	TO BE DETERMINED
EQUIV	EQUIVALENT	TEMP	TEMPORARY
EXIST OR (E)	EXISTING	T.O.	TOP OF
EXT	EXTERIOR	TOW	TOP OF WALL
FF	FINISH FLOOR	TYP	TYPICAL
FLEX	FLEXIBLE	UNO	UNLESS NOTED OTHERWISE
F.O.	FACE OF	UV	ULTRAVIOLET
FOUND	FOUNDATION	VIF	VERIFY IN FIELD
GALV	GALVANIZED	VERT	VERTICAL
GC	GENERAL CONTRACTOR	WP	WATERPROOF, WEATHERPROOF
GWB	GYPSUM WALL BOARD	WNDW	WINDOW
HDR	HEADER	W/	WITH
HT	HEIGHT	W/O	WITHOUT
HORIZ	HORIZONTAL	WD	WOOD
INSUL	INSULATION	WRB	WEATHER RESISTIVE BARRIER
ID	INTERIOR DESIGNER	WSEC	WASHINGTON STATE ENERGY CODE
IGU	INSULATED GLAZING UNIT		

GRAPHIC KEY

(NOT TO SCALE)

- GLASS
- CONCRETE
- STEEL
- EARTH
- GRAVEL
- WATER
- BRICK
- ALUMINUM
- BATT INSULATION
- RIGID INSULATION
- PLYWOOD
- FINISH WOOD
- STUCCO
- SPRAY FOAM INSULATION
- GYPSUM WALLBOARD

SYMBOLS KEY

GRID LINES — 0 / 0

ROOM REFERENCE — ROOM NAME / 101 — ROOM NAME, ROOM NUMBER

DOOR REFERENCE — 100A — ROOM NUMBER, DOOR NUMBER

WINDOW REFERENCE — 200A — ROOM NUMBER, WINDOW NUMBER

EXTERIOR ELEVATIONS — 1 / A301 — DRAWING NUMBER, SHEET NUMBER

BUILDING SECTION — 1 / A401 — DRAWING NUMBER, SHEET NUMBER

WALL SECTION — 1 / A411 — DRAWING NUMBER, SHEET NUMBER

SECTION DETAIL — 1 / A711 — DRAWING NUMBER, SHEET NUMBER

AREA DETAIL — 1 / A711 — DRAWING NUMBER, SHEET NUMBER

INTERIOR ELEVATION — 4 / 3 A501 1 / 2 — DRAWING NUMBER, SHEET NUMBER

ELEVATION DATUM — FINISH FLOOR / 101'-3" — LOCATION, ELEVATION

FINISH MATERIAL — 1-1 — FINISH TYPE: SEE FINISH SCHEDULE, FINISH NUMBER

REVISION BUG — NOTE: ONLY MOST RECENT REVISION SHOWN CLOUDED. FOR PREVIOUS REVISIONS DELTAS REMAIN. DATE OF REVISIONS INDICATED AT RIGHT MARGINS.

ASSEMBLY TYPE — W4a

R: ROOF TYPE
W: WALL TYPE
F: FLOOR TYPE
SEE ASSEMBLIES FOR MORE INFO

EXHAUST FAN

SMOKE DETECTOR

SMOKE/CARBON MONOXIDE DETECTOR

CENTERLINE

GENERAL NOTES

ALL WORK SHALL BE IN **COMPLIANCE** WITH THE 2021 INTERNATIONAL RESIDENTIAL CODE AS ADOPTED AND MODIFIED BY THE LOCAL JURISDICTIONAL LAND USE CODE. AND ALL OTHER LAWS, CODES, ORDINANCES AND REGULATIONS OF THE COUNTY, STATE, AND FEDERAL JURISDICTIONS. (LATEST EDITION AND AMENDMENTS)

ALL **UNDERGROUND UTILITIES** MUST BE VERIFIED AS TO EXACT LOCATIONS SO AS NO INTERFERENCE BY DISRUPTION WILL BE CAUSED. GENERAL CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITIES BY THE METHODS RECOMMENDED AT THE PRE-CONSTRUCTION SITE MEETING. DAMAGE THAT MAY BE CAUSED BY GENERAL CONTRACTOR OR SUBCONTRACTOR TO ANY OF THE ABOVE MENTIONED SHALL BE REPAIRED BY HIM AND LEFT IN AS GOOD A CONDITION AS EXISTED PRIOR TO DAMAGING.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR THE IDENTIFICATION AND REMOVAL OF ALL HAZARDOUS MATERIALS IN COMPLIANCE WITH ALL APPLICABLE CODES AND LAWS PRIOR TO ANY WORK COMMENCING. IN THE EVENT THAT THE OWNER IS ACTING AS THE GENERAL CONTRACTOR, THE OWNER IS RESPONSIBLE FOR THE IDENTIFICATION AND REMOVAL OF ALL HAZARDOUS MATERIALS IN COMPLIANCE WITH ALL APPLICABLE CODES AND LAWS PRIOR TO ANY WORK COMMENCING.

CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL **DIMENSIONS AND JOB CONDITIONS** RELATED TO THIS WORK. ALL DIMENSIONS SHALL BE CONSIDERED "NOMINAL" UNLESS NOTED OTHERWISE. DO NOT SCALE DRAWINGS. USE WRITTEN DIMENSIONS ONLY. DIMENSIONS ON LARGE SCALE DRAWINGS OR DETAILS WILL PREVAIL OVER SMALLER SCALED DRAWINGS. WRITTEN DIMENSIONS ARE DRAWN TO THE FACE OF STUD, U.N.O. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT, PROVIDE ALL BUCKOUTS, BLOCKING, AND JACKS AS REQUIRED BY THE DRAWINGS AND OTHER TRADES. ANY DISCREPANCY IN DIMENSIONS SHALL BE REPORTED IN WRITING TO THE PROJECT MANAGER/ DESIGNER FOR CLARIFICATION, OR APPROVAL OF MODIFICATION BEFORE COMMENCING WORK. THE RESPONSIBILITY TO THE PROJECT MANAGER/DESIGNER, SHALL REST WITH THE CONTRACTOR OR ANY OTHER PERSON APPROVING SUCH A CHANGE.

ALL **WORKMANSHIP AND MATERIALS** SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM THE DATE OF CERTIFICATE OF OCCUPANCY UNLESS SPECIFIED FOR A LONGER PERIOD OF TIME ON SPECIFIED ITEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING OR REPAIRING HIS OWN DEFECTIVE WORK AS WELL AS PAY ALL COSTS INCIDENTAL THERETO INCLUDING DAMAGE TO OTHER WORK, FURNISHINGS OR EQUIPMENT.

ALL **WARRANTIES OR GUARANTEES** AS TO MATERIALS OR WORKMANSHIP ON OR WITH RESPECT TO THE OWNER'S WORK SHALL BE CONTAINED IN THE CONTRACT OR SUBCONTRACT WHICH SHALL BE SO WRITTEN THAT SUCH GUARANTEE OR WARRANTIES SHALL INSURE TO THE BENEFIT OF OWNER.

INSURANCE: PRIOR TO THE COMMENCEMENT OF WORK THE GENERAL CONTRACTOR SHALL DELIVER TO THE OWNER CERTIFICATES OF INSURANCE FOR BOTH COMPREHENSIVE GENERAL LIABILITY AND WORKMAN'S COMPENSATION INCLUDING THE TOTAL AMOUNT OF COVERAGE AND CONDITIONS STIPULATED AND AGREED BY BOTH PARTIES.

THE OWNER SHALL BE RESPONSIBLE FOR PAYING FOR THE **BUILDING PERMIT**. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL OTHER PERMITS REQUIRED OR NECESSARY FOR THE COMPLETION OF THE WORK FROM THE RESPECTIVE AGENCIES. THE CONTRACTOR SHALL NOTIFY THE GOVERNING AGENCIES AS REQUIRED FOR SITE INSPECTIONS.

ALL TRADES SHALL REFER TO THE **ARCHITECTURAL DRAWINGS** REGARDING LOCATIONS OF WORK TO BE INSTALLED.

UNLESS OTHERWISE NOTED, PROVIDE ALL MISCELLANEOUS FASTENERS, HARDWARE AND ACCESSORIES AS REQUIRED FOR COMPLETE INSTALLATION. EVEN THOUGH SUCH ITEMS MAY NOT HAVE BEEN SPECIFICALLY MENTIONED IN THE DRAWINGS AND SPECIFICATIONS, NOTIFY THE ARCHITECT OF ANY REVISIONS OR ADDITIONAL INFORMATION OBTAINED FROM THE MANUFACTURER OF SPECIFIED MATERIALS OR EQUIPMENT WHICH MAY AFFECT THE CONTRACT TIME, COST OR QUALITY OF WORK.

GENERAL CONDITIONS
THE GENERAL CONTRACTOR, ALL SUB-CONTRACTORS AND ALL MAJOR SUPPLIERS SHALL SUBMIT TO THE OWNER WITHIN 30 DAYS AFTER COMPLETION ALL "RELEASE OF LIENS" FOR ALL WORK PERFORMED PRIOR TO FINAL PAYMENT.

PARTIAL LIEN WAIVERS TO BE SUBMITTED WITH MONTHLY REQUISITION.

ALL MANUFACTURERS AND/OR SUPPLIERS SHALL SUBMIT SHOP DRAWINGS AND/OR MATERIAL SAMPLES TO THE DESIGNER/OWNER FOR APPROVAL PRIOR TO FABRICATION.

ALL OF THE GENERAL CONTRACTOR'S EQUIPMENT, SCAFFOLDING HOISTS, ETC., SHALL BE AVAILABLE TO THE OWNER/ DESIGNER AND THEIR STAFF FOR INSPECTION OF ANY AND ALL WORK DURING NORMAL WORKING HOURS.

THE GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL DELIVERY POINTS, HOISTS LOCATIONS, ACCESS TO AND FROM THE SITE OF THE BUILDING AND UTILITY SERVICES.
BID TO INCLUDE ALL NECESSARY AND REQUIRED PERMITS, LICENSES, FEES, BONDS AND INSURANCE - EVIDENCE OF WHICH MUST BE SUBMITTED TO OWNER/ DESIGNER PRIOR TO ANY CONSTRUCTION.

GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBCONTRACTORS WORKING AT JOB SITE AND FOR ALL COORDINATION OF WORK.

THE MECHANICAL, PLUMBING AND ELECTRICAL CONTRACTOR SHALL FULLY COORDINATE ALL EQUIPMENT WITH THE OTHER TRADES. THESE CONTRACTORS SHALL BE RESPONSIBLE FOR FINAL HOOK-UP OF ALL EQUIPMENT NOT FURNISHED BY THEM BUT REQUIRING THE SAME FOR FINAL COMPLETION.

GENERAL CONTRACTOR TO BE RESPONSIBLE FOR SECURITY OF ALL MATERIALS AT JOB SITE UNTIL FINAL ACCEPTANCE OF WORK BY OWNER.

ANY SUBCONTRACTOR CUTTING INTO WORK ALREADY COMPLETED, CUTTING CHASES AND TRENCHES FOR THE INTRODUCTION OF HIS WORK AND EQUIPMENT IN THE BUILDING SHALL DO OR PAY FOR ALL BACK FILLING, REPARATION OF WALLS, FLOOR, ETC., DAMAGE BY SUCH A COMPANY. ALL REPAIRS SHALL MATCH EXISTING SURFACES.

CONSTRUCTION SPECIFICATIONS
NO SUBSTITUTIONS ARE ALLOWED FOR MATERIALS WHERE SPECIFIC MANUFACTURERS ARE INDICATED, UNLESS APPROVED BY THE OWNER/ARCHITECT. REQUESTS FOR SUBSTITUTIONS SHALL BE MADE IN WRITING PRIOR TO ORDERING MATERIALS OR COMMENCING WORK. SUCH REQUESTS SHALL INCLUDE THE DATE, SCOPE OF WORK, ANY ADDITIONAL COSTS TO THE OWNER, AND ANY ANTICIPATED DELAYS CAUSED BY SUCH CHANGES.

NO EXTRA WORK OR CHANGE SHALL BE MADE UNLESS A WRITTEN CHANGE ORDER IS SUBMITTED AND SIGNED BY THE OWNER AND ARCHITECT. THE ORDER SHALL STATE THAT THE OWNER HAS AUTHORIZED THE EXTRA WORK OR CHANGE, AND NO CLAIM FOR AN ADDITIONAL SUM SHALL BE VALID UNLESS SO OFFERED AS DESCRIBED ABOVE.

ALL WOOD IN CONTACT WITH MASONRY OR CONCRETE OR EXPOSED TO WEATHER SHALL BE PRESSURE TREATED. WOOD SPECIFICATIONS TO CONFORM TO OUTLINE SPECIFICATIONS, STRUCTURAL PLANS, NOTES, AND GENERAL CONDITIONS.

CAULKING AND SEALANTS: INSTALLED SHALL BE GUARANTEED WATERTIGHT. EXTERIOR METAL WORK, INCLUDING WINDOWS AND DOOR FRAMES AND ALL JUNCTIONS BETWEEN MASONRY, CONCRETE AND METAL SHALL BE SEALED WITH NEOPRENE OR POLYURETHANE FILLER AND APPROVED SEALANT COMPOUNDS.

PROVIDE GALVANIC INSULATION BETWEEN ALL DISSIMILAR METALS.

PROVIDE WATERPROOFING MEMBRANE OVER PROTECTIVE BOARD AT ALL WALLS EXPOSED TO EARTH.

ALL PIPING AND CONDUIT UNDER SLAB SHALL BE A MINIMUM OF 2"-0" CLEAR OF UNDERSIDE OF FOOTING.

ALL FINAL SURFACE GRADING SHALL BE COMPLETED TO FACILITATE POSITIVE DRAINAGE AWAY FROM THE BUILDING UNLESS NOTED OTHERWISE.

PROVIDE AND INSTALL INSULATION AT EXTERIOR WALLS, ROOF, FLOOR LOCATIONS AS SHOWN, SPECIFIED AND IN ACCORDANCE WITH THE WASHINGTON STATE ENERGY CODE.

WATER PIPES TO BE INSULATED IN ALL UNHEATED AREAS.

INSULATE ALL ROUGH-IN PLUMBING IN WALLS, FLOORS, AND CEILINGS FOR SOUND TRANSMISSION.

PROJECT DATA

EXISTING LOT AREA SUMMARY

GROSS LOT AREA	19100 SF
ACCESS EASEMENTS	0 SF
NET LOT AREA	19100 SF
LOT SLOPE	(137.92' - 106.00') / 174.50' = 18.29%

TREE REMOVAL

(E) TREES TO BE REMOVED	0
(N) TREES TO BE PLANTED AS REPLACEMENT	0

A

SEE SHEETS AD102 & A103 FOR LOT COVERAGE AND HARDSCAPE CALCULATIONS

EXISTING BUILDING AREA SUMMARY (GFA)

(E) BASEMENT LEVEL AND ATTACHED GARAGE (INCLUDES STAIR)	984 SF
(E) BASEMENT LEVEL BELOW GRADE (EXCLUDED PER *MICC CHAPTER 19 APPENDIX B*, REF. BASEMENT CALC ON SHEET A211)	(213.83 SF)
(E) MAIN LEVEL (EXCLUDES STAIR PER MICC 19.02.020.D.2.c.)	1551 SF
(E) COVERED DECKS (PER MICC 19.16.010.G.1.e.)	6 SF
(E) UPPER LEVEL (INCLUDES STAIR TO MAIN LEVEL PER MICC 19.02.020.D.2.c.)	1430 SF
TOTAL EXISTING BUILDING AREA (GSF)	**3757.17 SF**
EXISTING FLOOR AREA RATIO:	**3757.17 / 19100 = 19.67% OF LOT AREA**

PROPOSED BUILDING AREA SUMMARY (GFA)

(E) BASEMENT LEVEL AND ATTACHED GARAGE (INCLUDES STAIR)	984 SF
(E) BASEMENT LEVEL BELOW GRADE (EXCLUDED PER *MICC CHAPTER 19 APPENDIX B*, REF. BASEMENT CALC ON SHEET A211)	(213.83 SF)
MAIN LEVEL (EXCLUDES STAIR PER MICC 19.02.020.D.2.c.)	1724.52 SF
COVERED DECKS (PER MICC 19.16.010.G.1.e.)	48.60 SF
UPPER LEVEL (INCLUDES STAIR TO MAIN LEVEL PER MICC 19.02.020.D.2.c.)	1851.90 SF
TOTAL RESIDENCE BUILDING AREA (GSF)	**4395.19 SF**
+DETACHED SHED	198.00 SF
TOTAL PROJECT BUILDING AREA (GSF)	**4593.19 SF**

PROPOSED GROSS FLOOR AREA: **4593.19 / 19100 = 24.05% OF LOT AREA**
40% ALLOWABLE GROSS FLOOR AREA: 19100 SF * 0.40 = 7640 SF

*NOTE, PER *MICC 19.02.040.C.1.a.*, THE COMBINED TOTAL GROSS FLOOR AREA FOR ONE OR MORE ACCESSORY BUILDING(S) SHALL NOT EXCEED 25 PERCENT OF THE TOTAL GROSS FLOOR AREA ALLOWED ON A LOT WITHIN APPLICABLE ZONING DESIGNATIONS PURSUANT TO *MICC 19.02.020*.
TOTAL ALLOWABLE GROSS FLOOR AREA = 7640 SF * 0.25 = 1910 SF
PROPOSED SHED = 198 SF < 1910 SF = **COMPLIES**

SETBACKS

SIDE YARD (*PER MICC 19.02.020.C.1.c.*)	
LOT WIDTH CIRCLE DIAMETER PER DEFINITION FOR 'LOT, IRREGULAR' AND 'LOT WIDTH' = 116' - 3"	
TOTAL: 17% OF LOT WIDTH	116.25' * 0.17 = 19.76'
MINIMUM: 33% OF SIDE YARD TOTAL	19.76' * 0.33 = 6.52'
FRONT YARD	20'
REAR YARD	25'

OCCUPANCY SUMMARY

EXISTING TYPE	R-3
OCCUPANT LOAD	SINGLE FAMILY

AVERAGE BUILDING ELEVATION (ABE)
RESIDENCE (SEE CALCULATION ON SHEET A101)

AVERAGE GRADE (ABE)	27,150.76 / 211.93' =	**128.11'**
MAX ALLOWABLE HEIGHT		30' ABOVE AVERAGE GRADE
MAX HT. EL. / MAX BLDG. HT.		158.11'
PROPOSED BUILDING HT.		**158.47' (EXISTING RIDGE, NO CHANGE)**

DETACHED ACCESSORY SHED (SEE CALCULATION ON SHEET A101)

AVERAGE GRADE (ABE)	6973 / 58' =	**120.22'**
MAX. ALLOWABLE HT.		17' ABOVE AVERAGE GRADE
MAX HT. EL. / MAX SHED HT.		137.22'
PROPOSED SHED HT.		**132.22'**

ENERGY CODE SUMMARY *(WASHINGTON STATE ENERGY CODE-RESIDENTIAL, 2021 (WSEC-R))*
CLIMATE ZONE **4C (MARINE)** PER *TABLE R301.1*. PRESCRIPTIVE THERMAL ENVELOPE PER TABLE R402.1.3 AND R402.1.2

FENESTRATION U-FACTOR (VERTICAL):	.30
SKYLIGHT U-FACTOR (OVERHEAD):	.50
CEILING:	R-60
PER *R402.2.1* R-49 OVER 100% OF CEILING AREA AND EXTENDING OVER TOP PLATE SHALL COMPLY	
VAULTED CEILING:	R-38
WALL ABOVE GRADE:	R-20 CAVITY + 5 CI OR 13 CAVITY +10 CI
OR U-FACTOR EQUIVALENT PER WSEC R402.1.2	0.056
WALL BELOW GRADE (INT.):	R-21 (INT.) OR R-10 (EXT.) + 5 TB
FLOOR ABOVE GRADE:	R-30
SLAB ON GRADE @ BASEMENT:	R-10, 4' AT PERIMETER OR CONTINUOUS UNDER HEATED SLABS
• PRIMARY HEATING SOURCE SYSTEM TYPE 4	SEE SHEET G001
• HIGH EFFICIENCY HVAC OPTION 3.6	SEE SHEET G001
• EFFICIENT WATER HEATING OPTION 5.4	SEE SHEET G001

INSULATION UPGRADES
BUILDING ENVELOPE ASSEMBLIES THAT ARE PART OF THE ALTERATION SHALL COMPLY WITH VALUES ABOVE. EXISTING CEILING, WALL, OR FLOOR CAVITIES EXPOSED DURING THE CONSTRUCTION AND THAT DO NOT INCREASE THE ENERGY USE OF THE BUILDING NEED NOT COMPLY, PROVIDED THAT THESE CAVITIES ARE FILLED WITH INSULATION. EXISTING 2x4 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-15 AND 2x6 FRAMED WALLS SHALL BE INSULATED TO A MINIMUM OF R-21.

LIFE SAFETY UPGRADES
CONTRACTOR TO VERIFY SMOKE ALARMS INSTALLED IN EACH SLEEPING ROOM, OUTSIDE EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS, AND ON EACH FLOOR LEVEL PER *IRC 2021 SECTION 314.3*.
CONTRACTOR TO VERIFY CARBON MONOXIDE ALARMS INSTALLED OUTSIDE OF EACH SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS AND ON EACH FLOOR LEVEL PER *IRC 2021 SECTION 315.3*.

HEATING
INSTALLED PER INTERNATIONAL MECHANICAL CODE, WORK TO BE COMPLETED UNDER A SEPARATE PERMIT.

VENTILATION
FANS ON TIMERS, PER PLANS. VOLUME OF REQUIRED OUTDOOR VENTILATION AIR TO BE PROVIDED BASED ON *TABLE 403.4.2* OF THE INTERNATIONAL MECHANICAL CODE (*IMC 2021*).
* PLUMBING, MECHANICAL, ELECTRICAL WORK TO BE PERMITTED SEPARATELY.
SEE SHEET **G001** FOR VENTILATION & ENERGY CALCULATIONS.

FIRE DEPARTMENT NOTES
NFPA 72 (CHAPTER 29) - MONITORED HOUSEHOLD FIRE ALARM SYSTEM IN COMPLIANCE WITH NFPA 72 AND CITY OF MERCER ISLAND STANDARDS SHALL BE INSTALLED THROUGHOUT THE RESIDENCE. A SEPERATE PERMIT IS REQUIRED AND WILL BE COORDINATED BY THE CONTRACTOR.

GENERAL INFORMATION

PROJECT ADDRESS	9603 SE 61ST PL MERCER ISLAND, WA 98040
PROJECT NUMBER	TBD
ASSESSOR'S PARCEL #	4260000020
LEGAL DESCRIPTION	LOT 2 OF LELAND ADDITION, AS PER PLAT RECORDED IN VOLUME 82 OF PLATS, PAGE 19, RECORDS OF KING COUNTY AUDITOR; SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.
PROJECT DESCRIPTION	SCOPE INCLUDES A MAIN FLOOR ADDITION (173.53 SF) AND UPPER LEVEL ADDITIONS (493.71 SF) TO EXISTING SINGLE-FAMILY HOME, INCLUDING INTERIOR ALTERATIONS PER PLAN. IN ADDITION, NEW 198 SF DETACHED MODULAR SHED TO BE ADDED PER PLAN.
ZONE	R-15
BUILDING TYPE	SINGLE FAMILY RESIDENCE

PROJECT DIRECTORY

OWNER	ANDREW AND COURTNEY ACKLEY 9603 SE 61ST PL MERCER ISLAND, WA 98040
ARCHITECT	COLIN BRANDT BRANDT DESIGN GROUP 66 BELL ST., UNIT 1 SEATTLE, WA 98121 206.239.0850 ext. 0011 colin@brandtdesigninc.com
OWNER'S AGENT/CONTACT	KATE MILLER BRANDT DESIGN GROUP 66 BELL ST., UNIT 1 SEATTLE, WA 98121 206.239.0850 ext. 0013 kate@brandtdesigninc.com
SURVEYOR	JEREMY NOLTING TERRANE 11235 SE 6TH ST., SUITE 130 BELLEVUE, WA 98004 425.458.4488 jeremyn@terrane.net
STRUCTURAL ENGINEER	BRETT MOZDEN SWENSON SAY FAGET 2124 THIRD AVENUE, SUITE 100 SEATTLE, WA 98121 206.443.6212 bmozden@ssfengineers.com

SHEET INDEX

SHEET NUMBER	SHEET NAME
GENERAL	
G000	COVERSHEET
G001	ENERGY CODE / VENTILATION CALCULATIONS
SURVEY	
S-1	TOPOGRAPHIC & BOUNDARY SURVEY
ARCHITECTURAL DEMOLITION	
AD101	SITE DEMOLITION PLAN
AD102	DEMOLITION LOT COVERAGE SITE PLAN
AD211	LOWER FLOOR DEMOLITION PLAN
AD212	MAIN FLOOR DEMOLITION PLAN
AD213	UPPER FLOOR DEMOLITION PLAN
AD214	ROOF DEMOLITION PLAN
AD301	DEMOLITION ELEVATIONS (NORTHEAST)
AD302	DEMOLITION ELEVATIONS (NORTH)
AD303	DEMOLITION ELEVATIONS (NORTH WEST)
AD304	DEMOLITION ELEVATIONS (SOUTH & SOUTHEAST)
ARCHITECTURAL	
A101	SITE PLAN
A103	PROPOSED LOT COVERAGE SITE PLAN
X100	ARBORIST TREE PLAN
A107	TREE DETAILS
A211	LOWER FLOOR PLAN
A212	MAIN FLOOR PLAN
A213	UPPER FLOOR PLAN
A214	ROOF PLAN
A301	EXTERIOR ELEVATIONS (NORTHEAST)
A302	EXTERIOR ELEVATIONS (NORTH)
A303	EXTERIOR ELEVATIONS (NORTH WEST)
A304	EXTERIOR ELEVATIONS (SOUTH & SOUTHEAST)
A401	BUILDING SECTIONS
A402	BUILDING SECTIONS
A403	BUILDING SECTIONS
A404	BUILDING SECTIONS
A411	WALL SECTIONS
A611	DOOR SCHEDULE; LEGEND, & NOTES
A612	WINDOW SCHEDULE, LEGEND, & NOTES
A701	ASSEMBLY DETAILS
STRUCTURAL	
S1.1	GENERAL STRUCTURAL NOTES
S1.2	GENERAL STRUCTURAL NOTES CONT'D.
S2.1	LOWER FOUNDATION PLAN
S2.2	LOWER FLOOR FRAMING PLAN & UPPER FOUNDATION PLAN
S2.3	UPPER FLOOR FRAMING PLAN
S2.4	ROOF FRAMING PLAN
S3.1	TYPICAL CONCRETE DETAILS
S4.1	TYPICAL WOOD FRAMING DETAILS
S4.2	WOOD FRAMING DETAILS
S4.3	WOOD FRAMING DETAILS

REVISION INDEX

DESCRIPTION	DATE
PLAN CHECK 1	09.26.25

Brandt
Design Group
66 Bell Street
Unit 1
Seattle, WA
98121
206.239.0850
brandtdesigninc.com

8843
REGISTERED ARCHITECT
STATE OF WASHINGTON

ACKLEY RESIDENCE

9603 SE 61 ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE
A	PLAN CHECK 1	09.26.25

DRAWN BY: AJS
CHECKED BY: KM

COVERSHEET

SCALE: As indicated

G000

9/26/2025 12:23:39 PM

WA STATE ENERGY CODE FORMS

WASHINGTON STATE UNIVERSITY
Energy Program

Permit#			
Address or Lot & Block			
Parcel: 4260000020			
9603 SE 61st PL			
City	Mercer Island	Zip	98040

These requirements apply to all the IRC building types, including detached one- and two-family dwellings and multiple single-family dwellings (townhouses).

Instructions: This single-family project uses the requirements of the Prescriptive Path below to incorporate the minimum values listed. Based on the conditioned floor area of the structure, the number of required additional credits must be selected by the permit applicant.

Provide all information from the following tables in building permit drawings: Table R402.1.2 - Insulation and Fenestration Requirements by Component, Table R406.2 - Fuel Normalization Credits and R406.3 Energy Credit

Authorized Representative Signature		Date	

	All Climate Zones Table 402.1.3	and Table R402.1.2
	R-Value [a]	U-Factor [a]
Fenestration U-Factor [b, j]	n/a	0.30
Skylight U-Factor [b]	n/a	0.50
Ceiling [e]	60	0.024
Above-Grade Wall U-Factor [g, j]	20+5 or 13+10	0.056
Floor U-Factor	30	0.029
Below Grade Wall U-Factor [c,h]	10/15/21 int + 5TB	0.035
Slab [d,j] On Grade F-Factor	10, 4 ft	0.54

a	R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity which is less than the label or design thickness of the insulation, the compressed R-value of the insulation from Appendix Table A101.4 shall not be less than the R-value specified in the table
b	The fenestration *U*-factor column excludes skylights.
c	"10/15/21 +5TB" means R-10 continuous insulation on the exterior of the wall, or R-15 continuous insulation on the interior of the wall, or R-21 cavity insulation plus a thermal break between the slab and the basement wall at the interior of the basement wall. "10/15/21 +5TB" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the wall. "5TB" means R-5 thermal break between floor slab and basement wall.
d	R-10 continuous insulation is required under heated slab on grade floors. See Section R402.2.9.1.
e	For single rafter- or joist-vaulted ceilings, the insulation may be reduced to R-38 if the full insulation depth extends over the top plate of the exterior wall.
f	R-7.5 continuous insulation installed over an existing slab is deemed to be equivalent to the required perimeter slab insulation when applied to existing slabs complying with Section R503.1.1. If foam plastic is used, it shall meet the requirements for thermal barriers protecting foam plastics.
g	For log structures developed in compliance with Standard ICC 400, log walls shall meet the requirements for climate zone 5 of ICC 400.
h	Int. (intermediate framing) denotes framing and insulation as described in Section A103.2.2 including standard framing 16 inches on center, 78 percent of the wall cavity insulated and headers insulated with a minimum of R-10 insulation.
i	The first value is cavity insulation, the second value is continuous insulation. Therefore, as an example, "R13+10" means R-13 cavity insulation plus R-10 continuous insulation
j	A maximum U-factor of 0.32 shall apply to vertical fenestration products installed in buildings located above 4000 feet in elevation above sea level, or in windborne debris regions where protection of openings is required under Section R301.2.1.2 of the International Residential Code.

Each dwelling unit ***in a residential building*** shall comply with sufficient options from Table R406.2 (Energy Equalization credits) and Table 406.3 (energy credits) to achieve the minimum number of credits from the list below. To claim credits, the building permit drawings shall specify the option selected and the maximum tested building air leakage, and show the qualifying ventilation system and its control sequence of operation.

1. Small Dwelling Unit: ..... **5.0 credits**
   Dwelling units less than 1500 square feet in conditioned floor area with less than 300 square feet of fenestration area. Additions to existing building greater than 500 square feet of heated floor area but less than 1500 square feet.
2. Medium Dwelling Unit: ..... **8.0 credits**
   All dwelling units that are not included in **#1**, **#3** or **#4**.
3. Large Dwelling Unit: ..... **9.0 credits**
   Dwelling units exceeding 5000 square feet of conditioned floor area.
4. Dwelling units serving Group R-2 occupancies: ..... **6.5 credits**
   Section R401.1 and Residential Building Section R202 for Group R-2.
5. Additions 150 square feet to 500 square feet: ..... **2.0 credits**

The drawings included with the building permit application shall identify which options have been selected and the point value of each option, regardless of whether separate mechanical, plumbing, electrical, or other permits are utilized for the project

Before selecting your credits on this Summary table, review the option descriptions in Table R406.3 (Single Family).

Table R406.2 ENERGY EQUALIZATION CREDITS

System Type	Description of Primary Heating Source	Credits - select ONE system type	
1	For combustion heating equipment meeting minimum federal efficiency standards for the equipment listed in Table C403.3.2(5) or C403.3.2(6)	0	☐
2	For an initial heating system using a heat pump that meets federal standards for the equipment listed in Table C403.3.2(2) and supplemental heating provided by electric resistance or a combustion furnace meeting minimum standards listed in Table C403.3.2(5)b found in the 2021 WSEC- COMMERCIAL ENERGY CODE	1.5	☐
3	For heating system based on electric resistance only (either forced air or Zonal)	0.5	☐
4[c]	For heating system using a heat pump that meets federal standards for the equipment listed in Table C403.3.2(2) or C403.3.2(9) or Air to water heat pump units that are configured to provide both heating and cooling and are rated in accordance with AHRI 550/590	3.0	☐
5	For heating system based on electric resistance with: 1. Inverter-driven ductless mini-split heat pump system installed in the largest zone in the dwelling, or 2. With 2kW or less total installed heating capacity per dwelling	2.0	☐

a. See Section R401.1 and residential building in Section R202 for Group R-2 scope.
b. The gas back-up furnace will operate as fan-only when the heat pump is operating. The heat pump shall operate at all temperatures above 38°F (3.3°C) (or lower). Below that "changeover" temperature, the heat pump would not operate to provide space heating. The gas furnace provides heating below 38°F (3.3°C) (or lower).
c. Additional points for the HVAC system are included in Table R406.3.

Summary of Table R406.3

Options	Energy Credit Option Descriptions	Credits – limited to one energy option from each category [d]		Comments:
1.1	Efficient Building Envelope	0.5	☐	
1.2	Efficient Building Envelope	1.0	☐	
1.3	Efficient Building Envelope	1.5	☐	
1.4	Efficient Building Envelope	2.5	☐	
2.1	Air Leakage Control and Efficient Ventilation	1.0	☐	
2.2	Air Leakage Control and Efficient Ventilation	1.5	☐	
2.3	Air Leakage Control and Efficient Ventilation	2.0	☐	
3.1[a]	High Efficiency HVAC	1.0	☐	
3.2[a]	High Efficiency HVAC	0.5	☐	
3.3[a,c,d]	High Efficiency HVAC	0.5	☐	
3.4[a,d]	High Efficiency HVAC	1.5	☐	
3.5[d]	High Efficiency HVAC	1.5	☐	
3.6[a]	High Efficiency HVAC	1.0	☐	
3.7[a,d,e]	High Efficiency HVAC	2.0	☐	
3.8[a,d]	High Efficiency HVAC	1.0	☐	
3.9	High Efficiency HVAC	1.5	☐	
3.10[f]	High Efficiency HVAC	2.5	☐	
3.11[c]	High Efficiency HVAC	0.5	☐	
4.1	High Efficiency HVAC Distribution System	0.5	☐	
5.1	Efficient Water Heating	0.5	☐	
5.2	Efficient Water Heating	0.5	☐	
5.3	Efficient Water Heating	0.5	☐	
5.4	Efficient Water Heating	1.0	☐	
5.5	Efficient Water Heating	1.5	☐	
5.6	Efficient Water Heating	2.0	☐	
5.7	Efficient Water Heating	2.5	☐	
5.8	Efficient Water Heating	2.5	☐	
6.1	Renewable Electric Energy (4.5 credits max)	0.5-4.5	0.0	
7.1	Appliance Package	0.5	☐	
	Total Credits	5.0	Calculate Total	

a. An alternative heating source sized at a maximum of 0.5 Watts/ft2 (equivalent) of heated floor area or 500 Watts, whichever is bigger, may be installed in the dwelling unit.
b. See Section R401.1 and residential building in Section R202 for Group R-2 scope.
c. Option 3.11 can only be taken with Options 3.1 and 3.3. To qualify to claim Option 3.11 with 3.3, the system shall be a 1-2 speed heat pump system. Variable capacity heat pumps are ineligible from claiming this option.
d. This option may only be claimed if serving System Type 4 from Table R406.2.
e. Primary living areas include living, dining, kitchen, family rooms, and similar areas.
f. Option 3.10 may only be taken with Efficient Water Heating Options 5.1 or 5.2. Equipment sizing for space heating shall be calculated as provided in Section R403.7 with increased capacity to provide a minimum of 75 percent of peak hot water demand or shall be sized in accordance with approved manufacturer's specifications or guidance. Supplementary heat for water heating system shall be in accordance with Section R403.5.7.

WA STATE ENERGY CODE SUMMARY

ENERGY CODE SUMMARY 2021 WASHINGTON STATE ENERGY CODE, RESIDENTIAL PROVISIONS

CLIMATE ZONE 4C PER *TABLE R301.1*
ADDITION GREATER THAN 500 SF AND LESS THAN 1,500 SF REQUIRES **5.0** CREDITS FOR WSEC 406.2 & 406.3.

PRESCRIPTIVE THERMAL ENVELOPE PER *TABLE R402.1.3* AND AS MODIFIED BY **ADDITIONAL ENERGY CREDITS** BELOW

FENESTRATION U-FACTOR (VERTICAL)	.30
SKYLIGHT U-FACTOR (OVERHEAD)	.50
CEILING	R-60 PER *R402.2.1* R-49 OVER 100% OF CEILING AREA AND EXTENDING OVER TOP PLATE SHALL COMPLY
VAULTED CEILING	R-38
ABOVE-GRADE WALL	R-20 CAVITY +5 CI OR 13 CAVITY +10 CI ***OR*** U-FACTOR EQUIVALENT PER WSEC R402.1.2. 0.056
WALL BELOW GRADE (INT.)	R-21 + R-5 THERMAL BREAK (INT.)
FLOOR ABOVE GRADE	R-30
SLAB ON GRADE @ BASEMENT	R-10, 4 FT AT PERIMETER OR CONTINUOUS UNDER HEATED SLABS

ENERGY CREDIT OPTIONS SELECTED (TABLES R406.2 & R406.3)
PRIMARY HEATING SOURCE SYSTEM TYPE 4 (3.0 CREDITS)
HEAT PUMP MEETING FEDERAL STANDARDS FOR THE EQUIPMENT LISTED IN TABLE C403.3.2(2) OF C403.3.2(9) OR AIR TO WATER HEAT PUMP UNITS THAT ARE CONFIGURED TO PROVIDE BOTH HEATING AND COOLING AND ARE RATED IN ACCORDANCE WITH AHRI 550/590
HIGH EFFICIENCY HVAC OPTION 3.6 (1.0 CREDIT)
DUCTED CENTRAL HEAT PUMP - NEEP CC VCHP LIST
A CENTRALLY DUCTED AIR SOURCE COLD CLIMATE VARIABLE CAPACITY HEAT PUMP (CC VHP) FOUND ON THE NEEP CC VCHP QUALIFIED PRODUCT LIST WITH A MINIMUM OF 10 HSPF MAY BE USED TO SATISFY THIS REQUIREMENT
EFFICIENT WATER HEATING OPTION 5.4 (1.0 CREDIT)
WATER HEATING SYSTEM SHALL INCLUDE:
ENERGY STAR RATED GAS OR PROPANE WATER HEATER WITH A MIMUM UEF OF 0.91.

WHOLE HOUSE VENTILATION CALC

PROPOSED CONDITIONED SF		4,475 SF
NUMBER OF BEDROOMS		6
AIRFLOW IN CF REQUIRED FOR CONTINUOUS VENTILATION (PER WA STATE MECHANICAL CODE 2021. *TABLE 403.4.2*)		90 CFM
RUN TIME PERCENTAGE IN EACH 4 HOUR SEGMENT		50%
FACTOR		2
SYSTEM COEFFICIENT *		1.0
CALCULATION	90 CFM * 2 =	**180 CFM**

* VENTILATION SYSTEM ASSUMED TO BE BALANCED AND DISTRIBUTED, CONTRACTOR TO VERIFY

WHOLE HOUSE MECHANICAL VENTILATION SYSTEMS SHALL BE PROVIDED WITH ADVANCED CONTROLS THAT ARE CONFIGURED TO OPERATE THE SYSTEM WITH INTERMITTENT OFF OPERATION AND SHALL OPERATE FOR A LEAST TWO HOURS IN EACH FOUR-HOUR SEGMENT. THE WHOLE HOUSE VENTILATION AIRFLOW RATE DETERMINED IN ACCORDANCE WITH SECTION 403.4.2 AS CORRECTED BY SECTION 403.4.3 SHALL BE MULTIPLIED BY THE FACTOR DETERMINED IN ACCORDANCE WITH TABLE 403.4.6.5.

OUTDOOR AIR INLET DUCT TO BE FIELD LOCATED WITH HVAC SUBCONTRACTOR IN CONJUNCTION WITH PLACING EXHAUST DUCTS IN ORDER TO AVOID CONFLICT.

Table 403.4.2
WHOLE HOUSE MECHANICAL VENTILATION AIRFLOW RATE (CONTINUOUSLY OPERATING SYSTEMS)

Floor Area (ft^2)	Bedrooms[a]				
	1	2	3	4	>5
<500	30	30	35	45	50
500 - 1000	30	35	40	50	55
1001 - 1500	30	40	45	55	60
1501 - 2000	35	45	50	60	65
2001 - 2500	40	50	55	65	70
2501 - 3000	45	55	60	70	75
3001 - 3500	50	60	65	75	80
3501 - 4000	55	65	70	80	85
4001 - 4500	60	70	75	85	90
4501 - 5000	65	75	80	90	95

[a] Minimum airflow (Q_f) is set at not less than 30 cfm for each dwelling units.

Table 403.4.6.5
INTERMITTENT WHOLE HOUSE MECHANICAL VENTILATION RATE FACTORS[a,b]

Run-time Percentage in Each 4-hour Segment	50%	66%	75%	100%
Factor[a]	2	1.5	1.3	1.0

a. For ventilation system run-time values between those given, the factors are permitted to be determined by interpolation.

b. Extrapolation beyond the table is prohibited.

SEE WINDOW SCHEDULE ON SHEET A601 FOR MORE INFORMATION

Window, Skylight and Door Schedule

Project Information
"Ackley Residence"
9603 SE 61st PL
Mercer Island, WA 98040

Contact Information
KATE MILLER - BRANDT DESIGN GROUP
206.239.0850
kate@brandtdesigninc.com

	Ref.	U-factor	Qt.	Width Feet	Width Inch	Height Feet	Height Inch	Area	UA
Exempt Swinging Door (24 sq. ft. max.)								0.0	0.00
Exempt Glazed Fenestration (15 sq. ft. max.)								0.0	0.00

Vertical Fenestration (Windows and doors)

Component Description	Ref.	U-factor	Qt.	Width Feet	Width Inch	Height Feet	Height Inch	Area	UA
201A	C	0.30	1	4	12	6	10	33.9	10.16
201B	C	0.30	1	5	6	8	6	46.8	14.03
201C	C	0.30	1	5	6	8	6	46.8	14.03
201D	C	0.30	1	4	12	6	10	33.9	10.16
201E	C	0.30	1	4	12	6	10	33.9	10.16
202A	C	0.30	1	5	10	5	10	34.0	10.21
204A	C	0.30	1	5	10	5	10	34.0	10.21
205A	C	0.30	1	5	10	5	10	34.0	10.21
205B	C	0.30	1	5	10	5	10	34.0	10.21
207A	A	0.30	1	2	3.5	5	12	13.7	4.10
207B	A	0.30	1	2	3.5	5	12	13.7	4.10
208A	A	0.30	1	2	3.5	4	5.5	10.2	3.07
208B	D	0.30	1	5	11	4	5.5	26.4	7.91
209A	A	0.30	1	2	3.5	3	5.5	7.9	2.38
301A	C	0.30	1	2	12	4	12	14.7	4.40
301B	A	0.30	1	2	12	4	12	14.7	4.40
301C	C	0.30	1	5	6	4	12	27.3	8.18
301D	C	0.30	1	5	6	4	12	27.3	8.18
301E	A	0.30	1	2	12	4	12	14.7	4.40
301F	C	0.30	1	4	12	4	12	24.6	7.38
301G	C	0.30	1	4	12	4	12	24.6	7.38
302A	D	0.30	1	5	11	4	5.5	26.4	7.91
304A	D	0.30	1	3	11	3	12	15.5	4.65
309A	B	0.30	1	2	3.5	1	12	4.5	1.35
309B	B	0.30	1	2	3.5	1	12	4.5	1.35
310A	C	0.30	1	1	0	3	4	3.3	1.00
310B	C	0.30	1	1	0	3	4	3.3	1.00
311A	A	0.30	1	2	3.5	3	12	9.1	2.72
311B	A	0.30	1	2	3.5	3	12	9.1	2.72
312A	A	0.30	1	2	3.5	3	12	9.1	2.72
312B	A	0.30	1	2	3.5	3	12	9.1	2.72
312C	D	0.30	1	5	11	4	5.5	26.4	7.91
313A	A	0.30	1	2	3.5	3	12	9.1	2.72
313B	A	0.30	1	2	3.5	3	12	9.1	2.72
313C	D	0.30	1	5	11	4	5.5	26.4	7.91
314A	A	0.30	1	2	3.5	3	12	9.1	2.72
								0.0	0.00
207B (DOUBLE DOORS)	C	0.30	1	5	11	7	2.5	42.8	12.84
								0.0	0.00
								0.0	0.00
								0.0	0.00
								0.0	0.00
Sum of Vertical Fenestration Area and UA								767.4	230.21
Vertical Fenestration Area Weighted U = UA/Area									0.30

Overhead Glazing (Skylights)

Component Description	Ref.	U-factor	Qt.	Width Feet	Width Inch	Height Feet	Height Inch	Area	UA
301J	E	0.50	1	3	0	6	0	18.0	9.00
301K	E	0.50	1	3	0	6	0	18.0	9.00
302B	E	0.50	1	3	0	5	0	15.0	7.50
302C	E	0.50	1	3	0	5	0	15.0	7.50
								0.0	0.00
								0.0	0.00
Sum of Overhead Glazing Area and UA								66.0	33.00
Overhead Glazing Area Weighted U = UA/Area									0.50
Total Sum of Fenestration Area and UA ***(for heating system sizing calculations)***								833.4	263.21

WA STATE VENTILATION REQUIREMENTS (IRC 2021)

M1505.4 Whole-House Mechanical Ventilation System
Whole-house mechanical ventilation systems shall be designed in accordance with Sections M1505.4.1 through M1505.4.4.

M1505.4.1 System Design
The whole-house ventilation system shall consist of one or more supply fans, one or more exhaust fans, or an ERV/HRV with integral fans, associated ducts and controls. Whole-house mechanical ventilation system supply and exhaust fans shall meet the requirements of Sections M1505.4.1.2, M1505.4.1.3, M1505.4.1.4, and M1505.4.1.5. Local exhaust fans are permitted to serve as part of the whole-house ventilation system when provided with the proper controls in accordance with Section M1505.4.2. The systems shall be designed and installed to exhaust and/or supply the minimum outdoor airflow rates required by Section M1505.4.3 as modified by whole-house ventilation system coefficients in Section M1505.4.3.1 where applicable. The whole-house ventilation system shall operate continuously at the minimum ventilation rate required by Section M1505.4.2 unless configured with intermittent off controls in accordance with Section M1505.4.3.2.

M1505.4.1.4 Balanced Whole-House Ventilation System
A balanced whole-house ventilation system shall include both supply and exhaust fans. The supply and exhaust fans shall have airflow that is within 10% of each other. The tested and balanced total mechanical exhaust airflow rate is within 10% or 5 cfm (0.0024 m3/s), whichever is greater, of the total mechanical supply airflow rate. The flow rate test results shall be submitted and posted in accordance with Section M1505.4.1.7. The exhaust fan shall meet the requirements of Section M1505.4.1.2. The supply fan shall meet the requirements of Section M1505.4.1.3. Balanced ventilation systems with both supply and exhaust fans in a packaged product, such as an ERV/HRV, shall meet the requirements of HVI 920, as applicable. Intermittent dryer exhaust, intermittent range hood exhaust, and intermittent toilet room exhaust airflow rates above the residential dwelling or sleeping unit minimum ventilation rate are exempt from the balanced airflow calculation.

M1505.4.1.5 Furnace Integrated Supply
Systems using space heating and/or cooling air handler fans for outdoor air supply distribution are not permitted.
EXCEPTION: Air handler fans shall have multispeed or variable speed supply airflow control capability with a low speed operation not greater than 25 percent of the rated supply airflow capacity during ventilation only operation. Outdoor air intake openings must meet the provisions of Sections R303.5 and R303.6 and must include a motorized damper that is activated by the whole-house ventilation system controller. The motorized damper must be controlled to maintain the outdoor airflow intake airflow within 10 percent of the whole-house mechanical exhaust airflow rate. The flow rate for the outdoor air intake must be tested and verified at the minimum ventilation fan speed and the maximum heating or cooling fan speed. The results of the test shall be submitted and posted in accordance with Section M1505.4.1.7.

M1505.4.2 System Controls
The whole-house mechanical ventilation system shall be provided with controls that comply with the following:
1. The whole-house ventilation system shall be controlled with manual switches, timers or other means that provide for automatic operation of the ventilation system that are readily accessible by the occupant;
2. Whole-house mechanical ventilation system shall be provided with controls that enable manual override off of the system by the occupant during periods of poor outdoor air quality. Controls shall include permanent text or a symbol indicating their function. Recommended control permanent labeling to include text similar to the following: "Leave on unless outdoor air quality is very poor." Manual controls shall be readily accessible by the occupant;
3. Whole-house ventilation systems shall be configured to operate continuously except where intermittent off controls and sizing are provided in accordance with Section M1505.4.3.2.

M1505.4.3 Mechanical Ventilation Rate
The whole-house mechanical ventilation system shall provide outdoor air at a continuous rate as determined in accordance with Table M1505.4.3(1) or Equation 15-1.

M1505.4.3.1 Ventilation Quality Adjustment
The minimum whole-house ventilation rate from Section 1505.4.3 shall be adjusted by the system coefficient in Table M1505.4.3(2) based on the system type not meeting the definition of a balanced whole-house ventilation system and/or not meeting the definition of a *distributed whole-house ventilation system.*

M1505.4.3.2 Intermittent Off Operation
Whole-house mechanical ventilation systems shall be provided with advanced controls that are configured to operate the system with intermittent off operation and shall operate for at least two hours in each four-hour segment. The whole-house ventilation airflow rate determined in accordance with Section M1505.4.3 as corrected by Section M1505.4.3.1 is multiplied by the factor determined in accordance with Table M1505.4.3.2.

Brandt
Design Group

66 Bell Street
Unit 1
Seattle, WA
98121

206.239.0850

brandtdesigninc.com

8843 REGISTERED ARCHITECT STATE OF WASHINGTON

ACKLEY RESIDENCE

9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS
NO. DESCRIPTION DATE

DRAWN BY: AJS
CHECKED BY: KM

ENERGY CODE / VENTILATION CALCULATIONS

SCALE: 1/4" = 1'-0"

G001

9/26/2025 1:56:19 PM

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

LOT 2 OF LELAND ADDITION, AS PER PLAT RECORDED IN VOLUME 82 OF PLATS, PAGE 19, RECORDS OF KING COUNTY AUDITOR;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

HELD A BEARING OF N 05°43'29" E BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF E MERCER WAY, PER REFERENCE NO. 1.

REFERENCES

R1. RECORD OF SURVEY, VOL. 189, PG. 218, RECORDS OF KING COUNTY, WASHINGTON.

R2. LELAND ADDITION, VOL. 82 OF PLATS, PG. 19, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD 88 PER CITY OF MERCER ISLAND BENCHMARK NO. 2416
DESCRIPTION: 4"X4" CONC W/ ⅜" COPPER PIN
LOCATION: 100 E OF E MERCER WAY, EAST BAY, OPP HSE #6202
ELEVATION: 138.867'

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN SEPTEMBER OF 2024. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 4260000020
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 19,100 S.F. (0.44 ACRES)
6. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIRST AMERICAN TITLE INSURANCE COMPANY'S "COMMITMENT FOR TITLE INSURANCE", ORDER NO. 4243-4188639, DATED JULY 22, 2024. IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "COMMITMENT FOR TITLE INSURANCE". TERRANE, INC. HAS RELIED WHOLLY ON FIRST AMERICAN TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

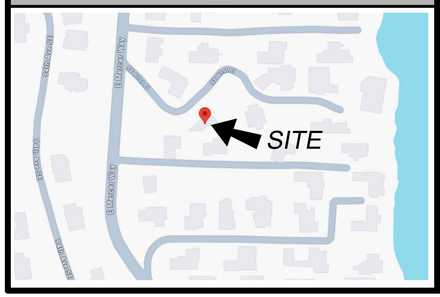
SCHEDULE B ITEMS

12. ANY AND ALL OFFERS OF DEDICATION, CONDITIONS, RESTRICTIONS, EASEMENTS, BOUNDARY DISCREPANCIES OR ENCROACHMENTS, NOTES AND/OR PROVISIONS SHOWN OR DISCLOSED BY SHORT PLAT OR PLAT OF LELAND ADDITION RECORDED IN VOLUME 82 OF PLATS, PAGE(S) 19. "PLOTTED"

13. ROAD MAINTENANCE PROVISIONS, AND THE TERMS AND CONDITIONS THEREOF, CONTAINED IN INSTRUMENT: RECORDING INFORMATION: 6397471 "NOT SURVEY RELATED"

VICINITY MAP

N.T.S.



LEGEND

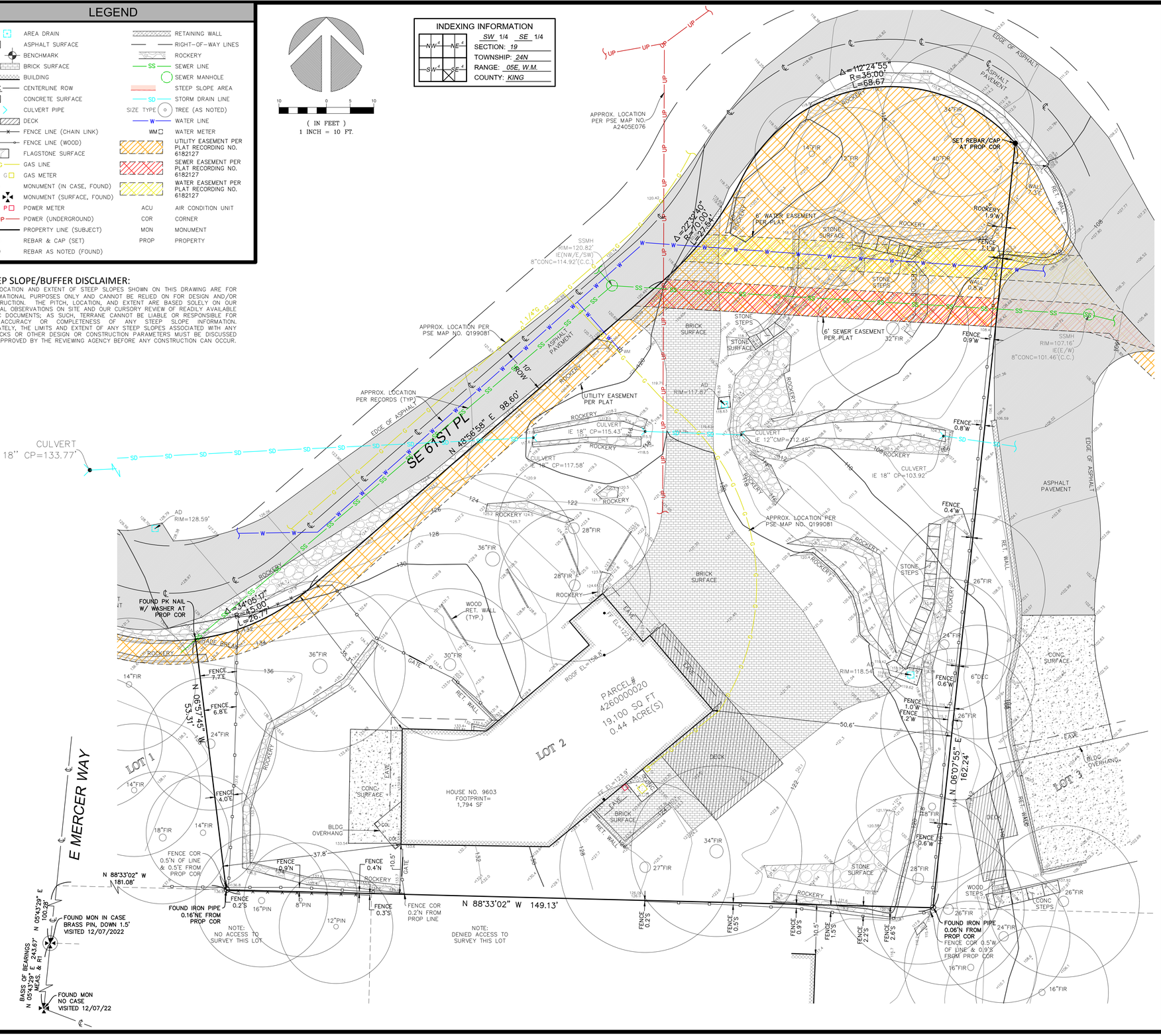
AREA DRAIN		RETAINING WALL	
ASPHALT SURFACE		RIGHT-OF-WAY LINES	
BENCHMARK		ROCKERY	
BRICK SURFACE	SS	SEWER LINE	
BUILDING		SEWER MANHOLE	
CENTERLINE ROW		STEEP SLOPE AREA	
CONCRETE SURFACE	SD	STORM DRAIN LINE	
CULVERT PIPE	SIZE TYPE	TREE (AS NOTED)	
DECK	W	WATER LINE	
FENCE LINE (CHAIN LINK)	WM	WATER METER	
FENCE LINE (WOOD)		UTILITY EASEMENT PER PLAT RECORDING NO. 6182127	
FLAGSTONE SURFACE		SEWER EASEMENT PER PLAT RECORDING NO. 6182127	
GAS LINE		WATER EASEMENT PER PLAT RECORDING NO. 6182127	
GAS METER			
MONUMENT (IN CASE, FOUND)			
MONUMENT (SURFACE, FOUND)			
POWER METER	ACU	AIR CONDITION UNIT	
POWER (UNDERGROUND)	COR	CORNER	
PROPERTY LINE (SUBJECT)	MON	MONUMENT	
REBAR & CAP (SET)	PROP	PROPERTY	
REBAR AS NOTED (FOUND)			

(IN FEET)
1 INCH = 10 FT.

INDEXING INFORMATION
SW 1/4 SE 1/4
SECTION: 19
TOWNSHIP: 24N
RANGE: 05E, W.M.
COUNTY: KING

STEEP SLOPE/BUFFER DISCLAIMER:

THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



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Bellevue, WA 98004
p: 425-458-4488 | e: info@terrane.net

We are the measure | terrane.net

TOPOGRAPHIC & BOUNDARY SURVEY
PARCEL NO. 4260000020

9603 SOUTHEAST 61ST PL
9603 SOUTHEAST 61ST PLACE
MERCER ISLAND, WA 98040

JACOB GOODMAN MILLER — STATE OF WASHINGTON — 24019 — REGISTERED PROFESSIONAL LAND SURVEYOR
04/03/25

JOB NUMBER:	241513
DATE:	09/20/24
DRAFTED BY:	AJU
CHECKED BY:	JGM
SCALE:	1" = 10'

REVISION HISTORY

04/03/25	PER COMMENTS

SHEET NUMBER
1 OF 1

NOTES

1. PROPERTY LINE METES & BOUNDS ARE SHOWN PER TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24
2. TREES AND CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24
3. REFERENCE PLANS ON SHEETS A211, A212, & A212, ELEVATIONS A301, A302, A303, & A304, AND WALL ASSEMBLIES ON SHEET A701 AND STRUCTURAL FOR MORE SPECIFIC DEMOLITION RELATED INFORMATION
4. CONTRACTOR TO ENSURE ADEQUATE STRUCTURAL SUPPORTS ARE IN PLACE WHEN REMOVING EXISTING STRUCTURAL ELEMENTS. QUESTIONS REGARDING THE MEANS AND METHODS OF THOSE SUPPORTS SHOULD BE DIRECTED TOWARD THE STRUCTURAL ENGINEER

STRUCTURAL ALTERATION CALCULATION

40% STRUCTURAL ALTERATION LIMIT

LOWER FLOOR - NO CHANGE
TOTAL: PERIMETER: 79.64' (ABOVE-GRADE)

MAIN FLOOR

WALL	(E) LENGTH (FT.)	ALTERED LENGTH (FT.)
A	17.74'	0'
B	28.95'	0'
E	6.72'	0'
G	10.43'	0'
H	20.10'	0'
J	44.94'	0'
K	31.52'	0'
N	24.35'	24.35'
TOTAL:	**PERIMETER: 184.77'**	**ALTERED: 24.35'**

UPPER FLOOR

WALL	(E) LENGTH (FT.)	ALTERED LENGTH (FT.)
B	59.88'	25.01'
E	6.72'	0'
G	3.28'	0'
H	20.10'	20.10'
J	37.78'	0'
K	31.37'	0'
L	1.70'	1.70'
M	6.85'	6.85'
TOTAL:	**PERIMETER: 167.68'**	**ALTERED: 53.66'**

CALCULATION:
TOTAL (E) OVERALL WALL LENGTH: 432.09'
TOTAL (E) DISTURBED WALL LENGTH: 78.01'
(E) OVERALL / (E) DISTURBED = (78.01' / 432.09')*100 = **18.05%**

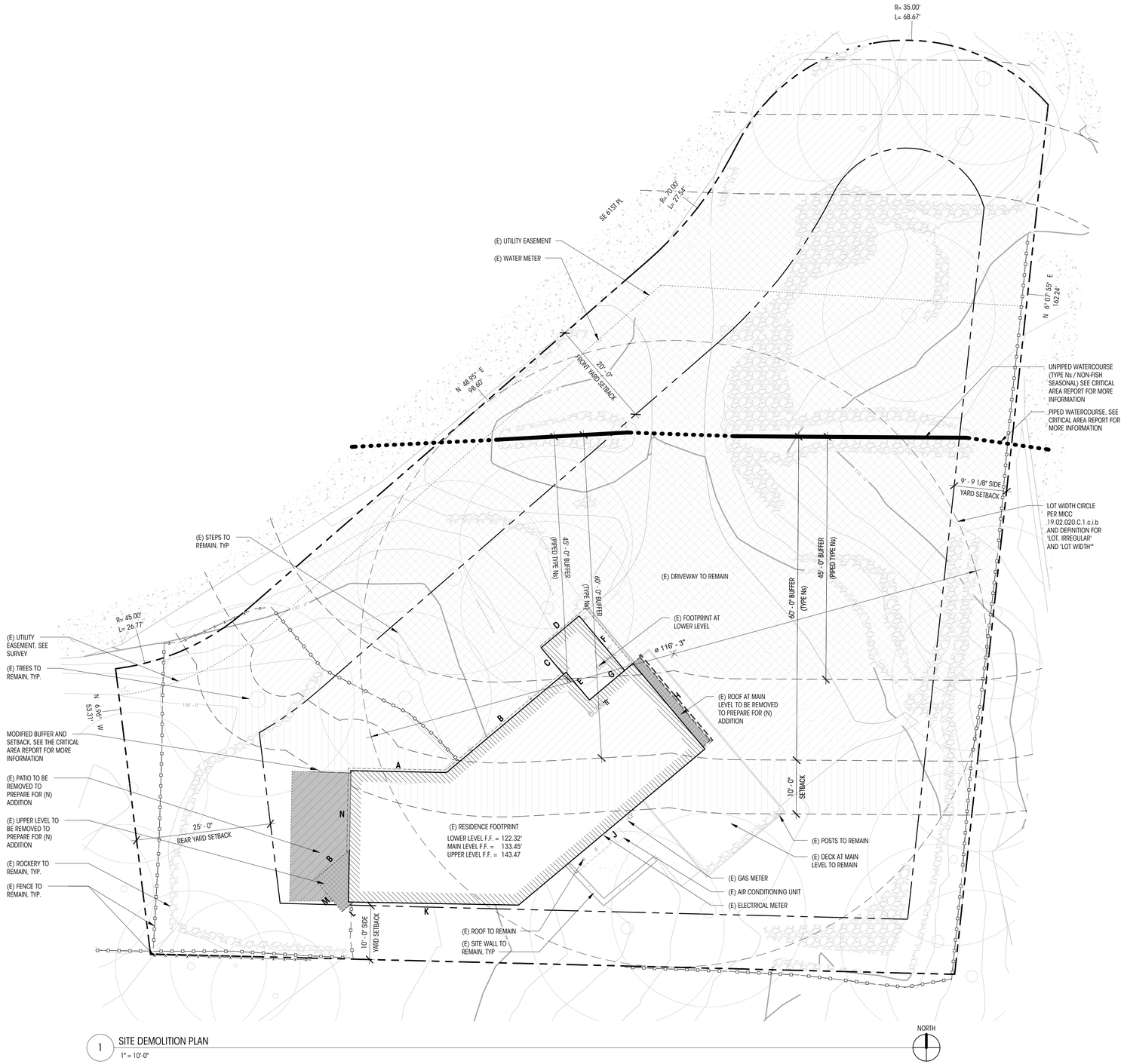
PER MICC 19.01.050.D.1.b.i

iii.Structural alteration calculation.
For the purposes of determining the percentage of exterior walls of a nonconforming structure that is being structurally altered, the following calculation applies:
Formula: Percentage of exterior walls altered = (sum of the length of existing exterior walls to be structurally altered) ÷ (sum of the length of existing exterior walls)

Where:
(a) The "sum of the length of existing exterior walls to be structurally altered" is the sum of each wall segment that is completely demolished.
(b) The "sum of the length of exterior walls" is the sum of the lengths of each exterior wall segment of a structure or building.
(c) For the purposes of this subsection, a wall segment is "completely demolished" when any portion of the wall is completely removed, such that no structural elements remain.
(d) For the purposes of this subsection, the "wall segment" is the horizontal length of each continuous exterior wall plane or facade; provided, that each building modulation (e.g., a bay window bump-out) shall be accounted for as a separate exterior wall plane.

LEGEND

- EL= 148.5' (+0'-0") MAIN LEVEL FIN. FLR. — ELEVATION DATUM
- PROPERTY LINE
- SETBACK LINE
- ROOF OVERHANG
- (E) SITE WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- (E) HOUSE FOOTPRINT
- (E) PATIO / WALKWAYS / CONCRETE DRIVE / PAVING
- (E) ROCKERY / HARDSCAPE
- (E) TREE TO REMAIN
- (E) PATIO TO BE DEMOLISHED
- (E) HOUSE FOOTPRINT TO BE DEMOLISHED
- PIPED WATER COURSE
- UNPIPED WATER COURSE
- (E) PIPED WATERCOURSE BUFFER
- (E) UNPIPED WATERCOURSE BUFFER
- BUFFER SETBACK
- (E) CHAIN LINK FENCE
- (E) WOOD FENCE



1 SITE DEMOLITION PLAN
1" = 10'-0"

Brandt
Design Group
66 Bell Street
Unit 1
Seattle, WA
98121
206.239.0850
brandtdesigninc.com

8843 REGISTERED ARCHITECT
STATE OF WASHINGTON

ACKLEY RESIDENCE

9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: AJS
CHECKED BY: KM

SITE DEMOLITION PLAN

SCALE: 1" = 10'-0"

AD101

9/26/2025 12:23:41 PM

ZONING CALCULATIONS

EXISTING LOT COVERAGE (NOTE LOT COVERAGE IS IMPERVIOUS SURFACE FOR STORMWATER CALCULATIONS)

ROOF, GARAGE, AND OVERHANGS	1,958.55 SF
DRIVING SURFACES	2,053.58 SF
TOTAL:	4,012.13 SF

LOT COVERAGE TO BE DEMOLISHED

ROOF, GARAGE, AND OVERHANGS		
(D) HOUSE	3.34 SF	(CONVERTED TO HARDSCAPE)
(D) ROOF-1	8.95 SF	(CONVERTED TO HARDSCAPE)
(D) ROOF-2	*(33.83 SF) (OVERHANG REMOVED OVER EXISTING DRIVEWAY, AREA REMAINS LOT COVERAGE)*	
DRIVING SURFACES	0	
TOTAL DEMOLISHED LOT COVERAGE:	12.29 SF	

LOT COVERAGE TO REMAIN:
4,012.13 SF - 12.29 SF = 3,999.84 SF

EXISTING HARDSCAPE (NOTE HARDSCAPE IS IMPERVIOUS SURFACE FOR STORMWATER CALCULATIONS)

DECKS	
D-1	24.34 SF
	24.34 SF

PATIOS	
(D)P-3	46.25 SF
(D)P-6	124.44 SF
(D)P-7	93.78 SF
P-1	193.85 SF
P-2	30.33 SF
P-3	124.04 SF
P-5	427.78 SF
	1,040.47 SF

ROCKERIES	
R-1	18.60 SF
R-2	12.70 SF
R-3	120.14 SF
R-4	34.48 SF
R-5	448.16 SF
R-6	81.46 SF
R-7	43.93 SF
R-8	154.34 SF
R-9	23.38 SF
R-10	34.26 SF
R-11	31.44 SF
R-12	30.67 SF
R-13	8.73 SF
R-14	32.04 SF
R-15	6.16 SF
R-16	146.82 SF
R-17	2.99 SF
R-18	0.39 SF
	1,230.69 SF

SITE WALLS	
SW-1	0.75 SF
SW-2	21.30 SF
SW-3	1.93 SF
SW-4	1.76 SF
SW-5	1.83 SF
SW-6	2.04 SF
SW-7	8.55 SF
	38.16 SF

STAIRS	
S-1	41.57 SF
S-2	33.86 SF
S-3	98.29 SF
	173.72 SF

TURF PATIOS	
(D)T-2	5.40 SF
T-1	1,108.13 SF
	1,113.53 SF

A

TOTAL:	3620.91 SF

A

HARDSCAPE TO BE DEMOLISHED

PATIOS	(D)P-3	46.25 SF
	(D)P-6	124.44 SF
	(D)P-7	93.78 SF
TURF PATIO	(D)T-2	5.40 SF
TOTAL:		269.87 SF

HARDSCAPE TO REMAIN
3620.91 SF - 269.87 SF = 3351.04 SF

STORMWATER CALCUATIONS

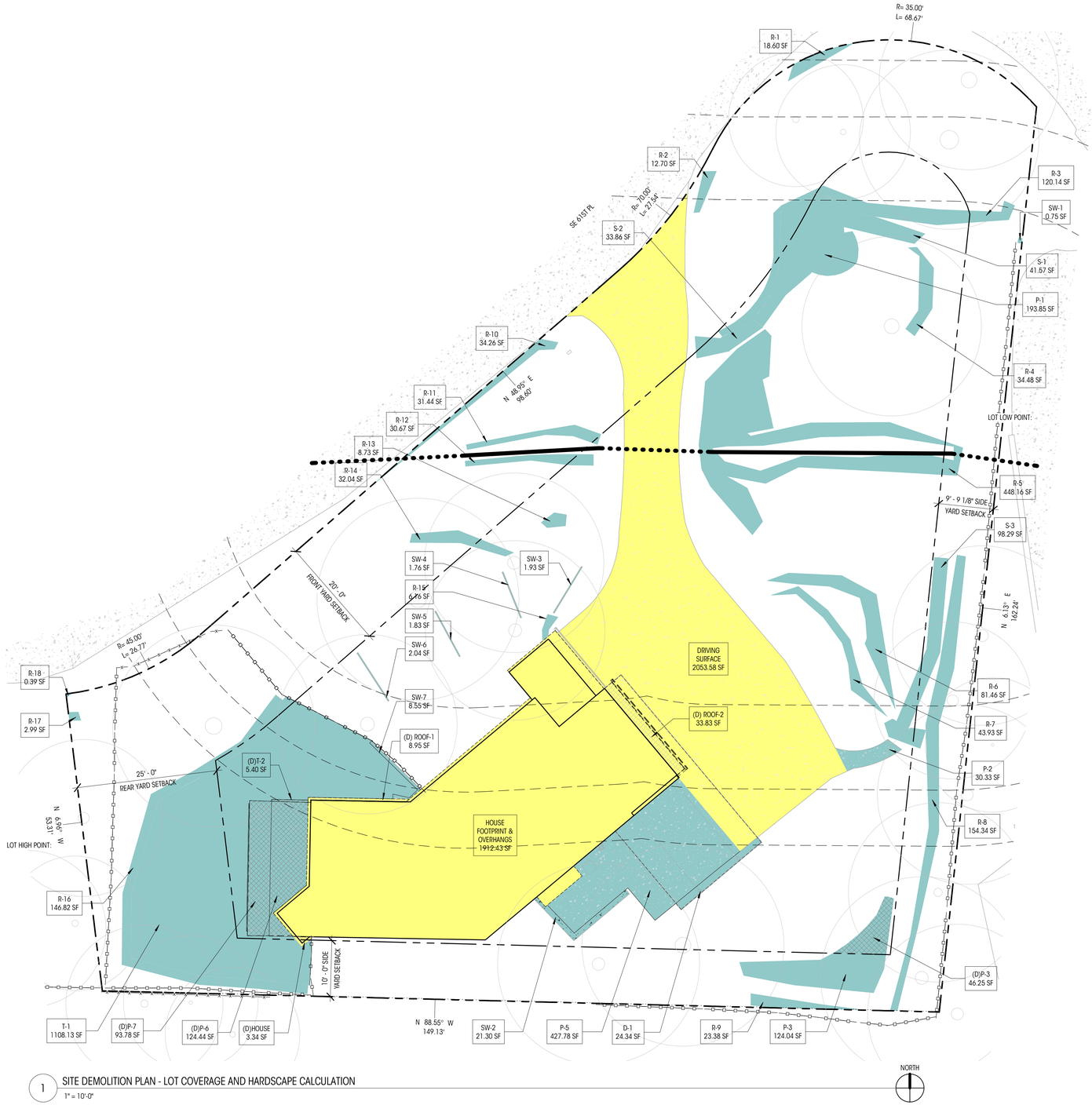
EXISTING IMPERVIOUS SURFACE (LOT COVERAGE + HARDSCAPE) 4012.13 + 3620.91 =	7633.04 SF
PROPOSED IMPERVIOUS SURFACE (LOT COVERAGE + HARDSCAPE) 4496.24 + 3366.74 =	7862.98 SF
NET INCREASE = NET INCREASE IS LESS THAN 500 SF THEREFORE DRAINAGE DESIGN IS NOT REQUIRED	229.94 SF
NEW HARD SURFACE AREA:	
(N) HOUSE FOOTPRINT AND OVERHANGS	218.69 SF
(N) SHED AND OVERHANGS	280.00 SF
REPLACED HARD SURFACE AREA	
(N) T-2 (TURF REPLACING PATIO)	4.99 SF
(N) T-3 (TURF REPLACING ROOF)	3.27 SF
(N) T-4 (TURF REPLACING ROOF)	7.44 SF
TOTAL NEW + REPLACED HARD SURFACE AREA = TOTAL IS LESS THAN 2000 SF THEREFORE DRAINAGE DESIGN IS NOT REQUIRED	514.39 SF

NOTES

1. PROPERTY LINE METES & BOUNDS ARE SHOWN PER TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24
2. TREES AND CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24

LEGEND

- EL= 148.5' (+0'-0") MAIN LEVEL FIN. FLR. — ELEVATION DATUM
- PROPERTY LINE
- SETBACK LINE
- ROOF OVERHANG
- (E) DECK, ABOVE
- (E) SITE WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- LOT COVERAGE TO REMAIN
- DEMOLISHED LOT COVERAGE
- HARDSCAPE TO REMAIN
- DEMOLISHED HARDSCAPE
- (E) TREE TO REMAIN
- PIPED WATER COURSE
- UNPIPED WATER COURSE
- (E) CHAIN LINK FENCE
- (E) WOOD FENCE



1 SITE DEMOLITION PLAN - LOT COVERAGE AND HARDSCAPE CALCULATION
1" = 10'-0"

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8843 REGISTERED ARCHITECT STATE OF WASHINGTON

ACKLEY RESIDENCE

9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE:	06.30.25
SHEET SIZE:	D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE
A	PLAN CHECK 1	09.26.25

DRAWN BY:	AJS
CHECKED BY:	KM

DEMOLITION LOT COVERAGE SITE PLAN

SCALE: 1" = 10'-0"

AD102

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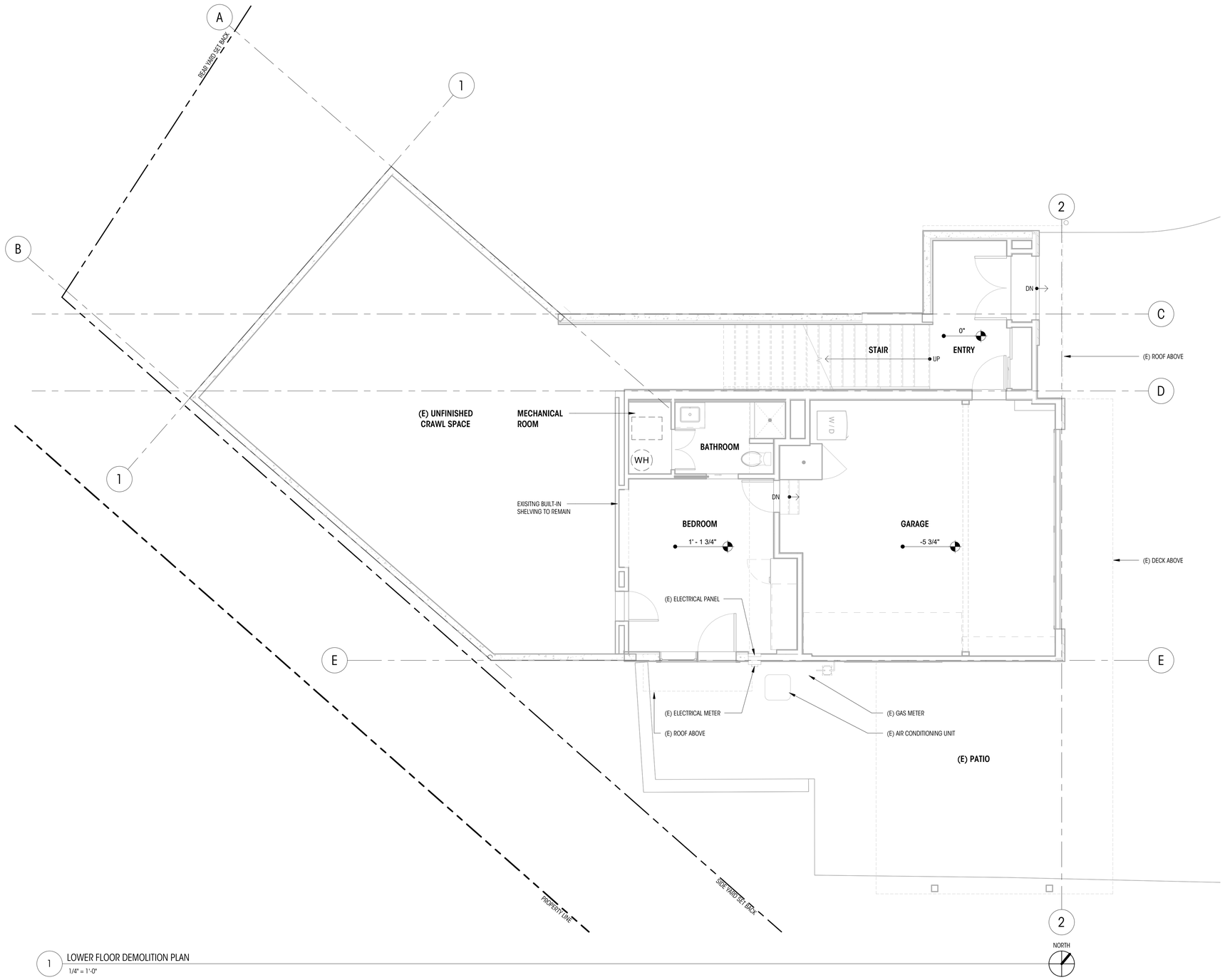

1 LOWER FLOOR DEMOLITION PLAN
1/4" = 1'-0"

LEGEND

- MAIN FLOOR F.F. 48' - 5" — ELEVATION DATUM
- 0 — GRIDLINE
- TO BE REMOVED
- WALL TO REMAIN
- PROPERTY LINE
- SETBACK LINE
- OVERHEAD ELEMENTS TO REMAIN
- OVERHEAD ELEMENTS TO REMOVED
- FLOOR AREA TO BE DEMOLISHED

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
2. ALL DIMENSIONS AT KITCHEN TO EDGE OF COUNTERTOPS, U.N.O.
3. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
4. CONTRACTOR TO ENSURE ADEQUATE STRUCTURAL SUPPORTS ARE IN PLACE WHEN REMOVING EXISTING STRUCTURAL ELEMENTS. QUESTIONS REGARDING THE MEANS AND METHODS OF THOSE SUPPORTS SHOULD BE DIRECTED TOWARD THE STRUCTURAL ENGINEER.

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MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: AJS
CHECKED BY: KM

LOWER FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

AD211

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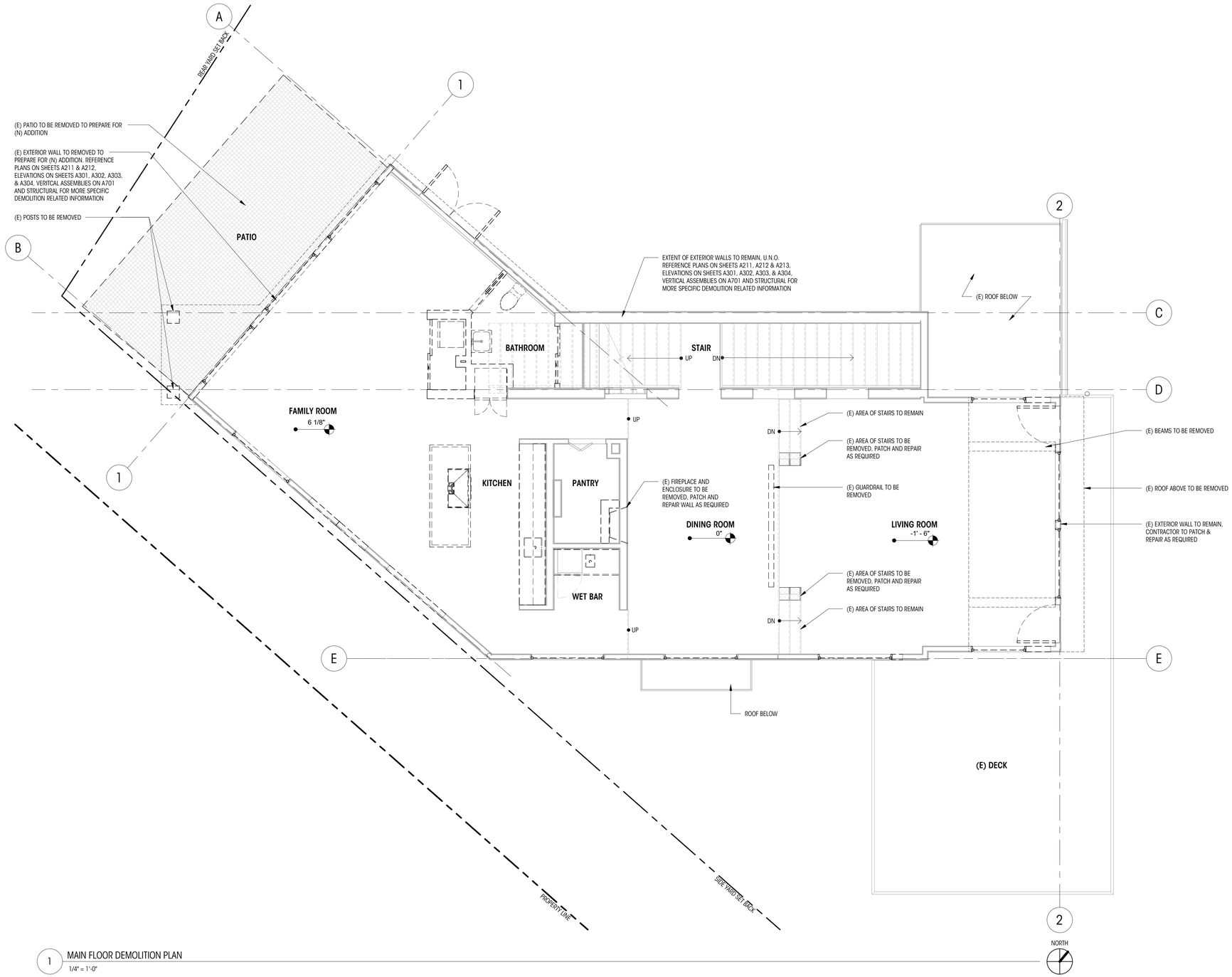

1 MAIN FLOOR DEMOLITION PLAN
1/4" = 1'-0"

LEGEND

- MAIN FLOOR F.F. 48' - 5" — ELEVATION DATUM
- 0 — GRIDLINE
- TO BE REMOVED
- WALL TO REMAIN
- PROPERTY LINE
- SETBACK LINE
- OVERHEAD ELEMENTS TO REMAIN
- OVERHEAD ELEMENTS TO REMOVED
- FLOOR AREA TO BE DEMOLISHED

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
2. ALL DIMENSIONS AT KITCHEN TO EDGE OF COUNTERTOPS, U.N.O.
3. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
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MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO. DESCRIPTION DATE

DRAWN BY: AJS
CHECKED BY: KM

MAIN FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

AD212

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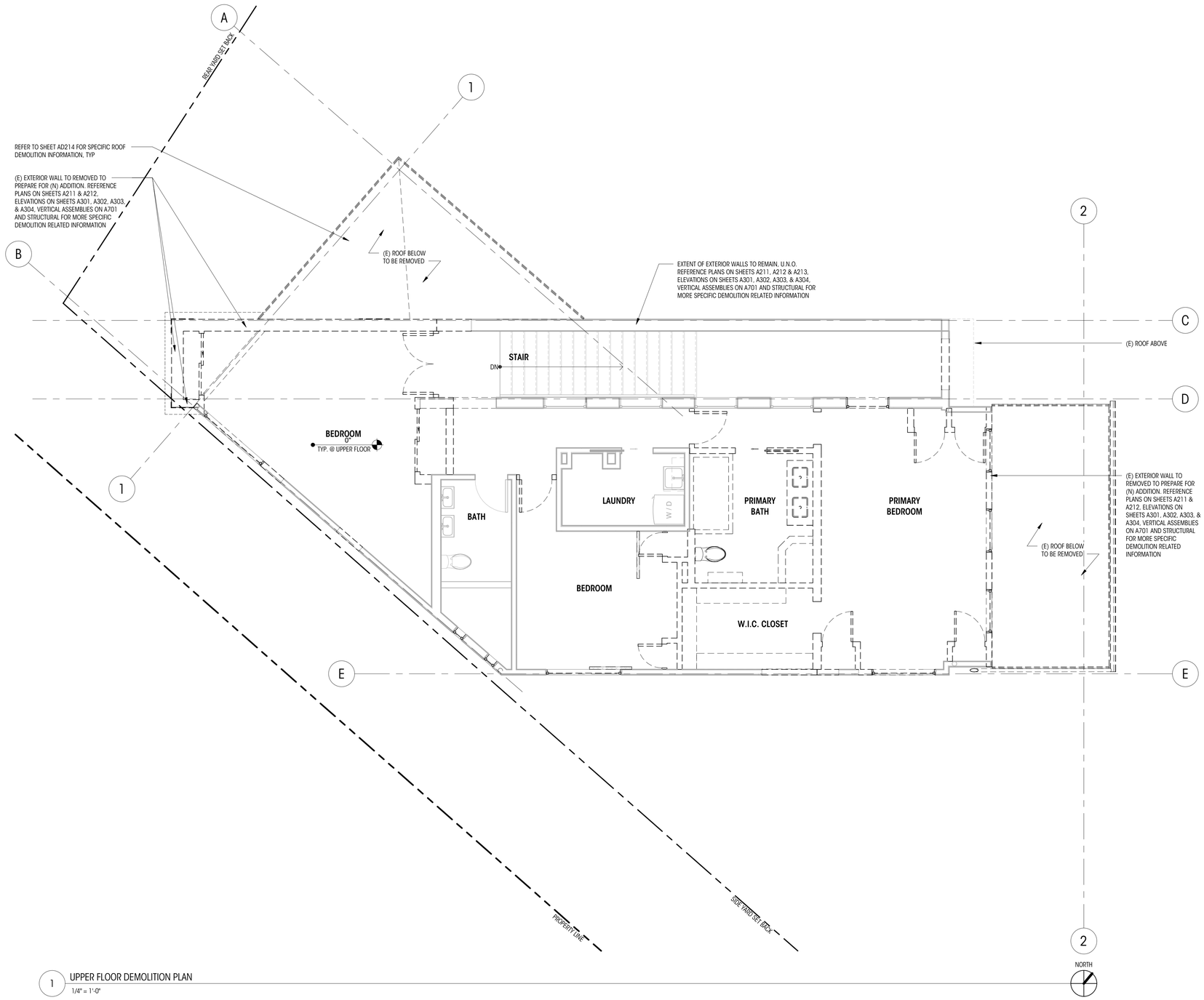

1 UPPER FLOOR DEMOLITION PLAN
1/4" = 1'-0"

LEGEND

- MAIN FLOOR F.F. 48' - 5" — ELEVATION DATUM
- 0 — GRIDLINE
- TO BE REMOVED
- WALL TO REMAIN
- PROPERTY LINE
- SETBACK LINE
- OVERHEAD ELEMENTS TO REMAIN
- OVERHEAD ELEMENTS TO REMOVED
- FLOOR AREA TO BE DEMOLISHED

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
2. ALL DIMENSIONS AT KITCHEN TO EDGE OF COUNTERTOPS, U.N.O.
3. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
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ACKLEY RESIDENCE

9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: AJS
CHECKED BY: KM

UPPER FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

AD213

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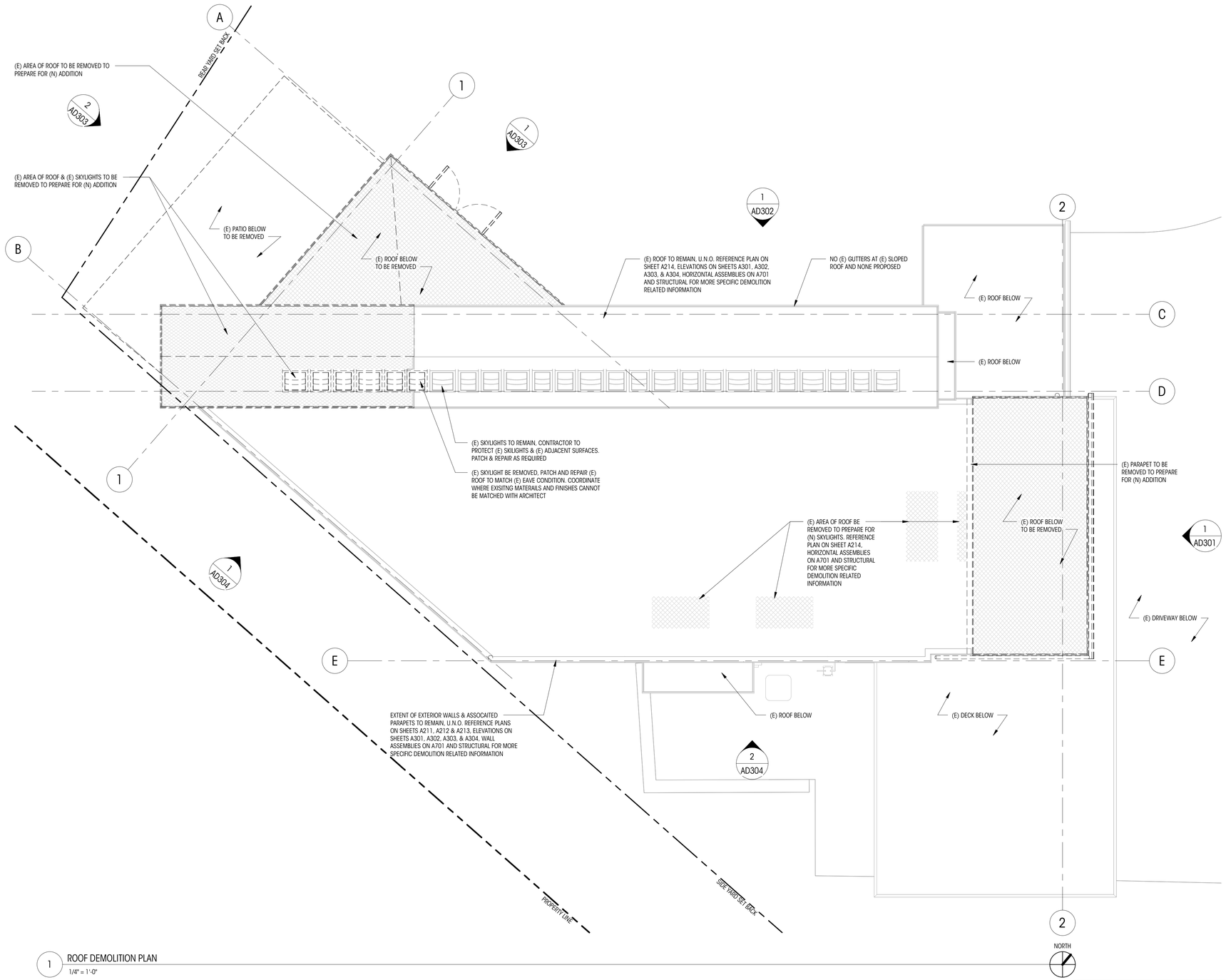

1 ROOF DEMOLITION PLAN
1/4" = 1'-0"

LEGEND

- MAIN FLOOR F.F. 48' - 5" — ELEVATION DATUM
- 0 — GRIDLINE
- ROOF TO BE REMOVED
- EXISTING ROOF TO REMAIN
- EXISTING WALL TO REMAIN

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
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ACKLEY RESIDENCE

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MERCER ISLAND, WA 98040

PERMIT SET

DATE:	06.30.25
SHEET SIZE:	D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY:	AJS
CHECKED BY:	KM

ROOF DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

AD214

9/26/2025 12:23:44 PM

1 EXTERIOR DEMOLITION ELEVATION - NORTHEAST
1/4" = 1'-0"

LEGEND

- MAIN FLOOR F.F. 48' - 5" — ELEVATION DATUM
- 0 — GRIDLINE
- EXISTING ELEMENT TO BE DEMOLISHED
- EXISTING FINISH TO BE DEMOLISHED
- EXISTING ELEMENT TO REMAIN

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
2. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
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8843 REGISTERED ARCHITECT STATE OF WASHINGTON

ACKLEY RESIDENCE

9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: AJS
CHECKED BY: KM

DEMOLITION ELEVATIONS (NORTHEAST)

SCALE: 1/4" = 1'-0"

AD301

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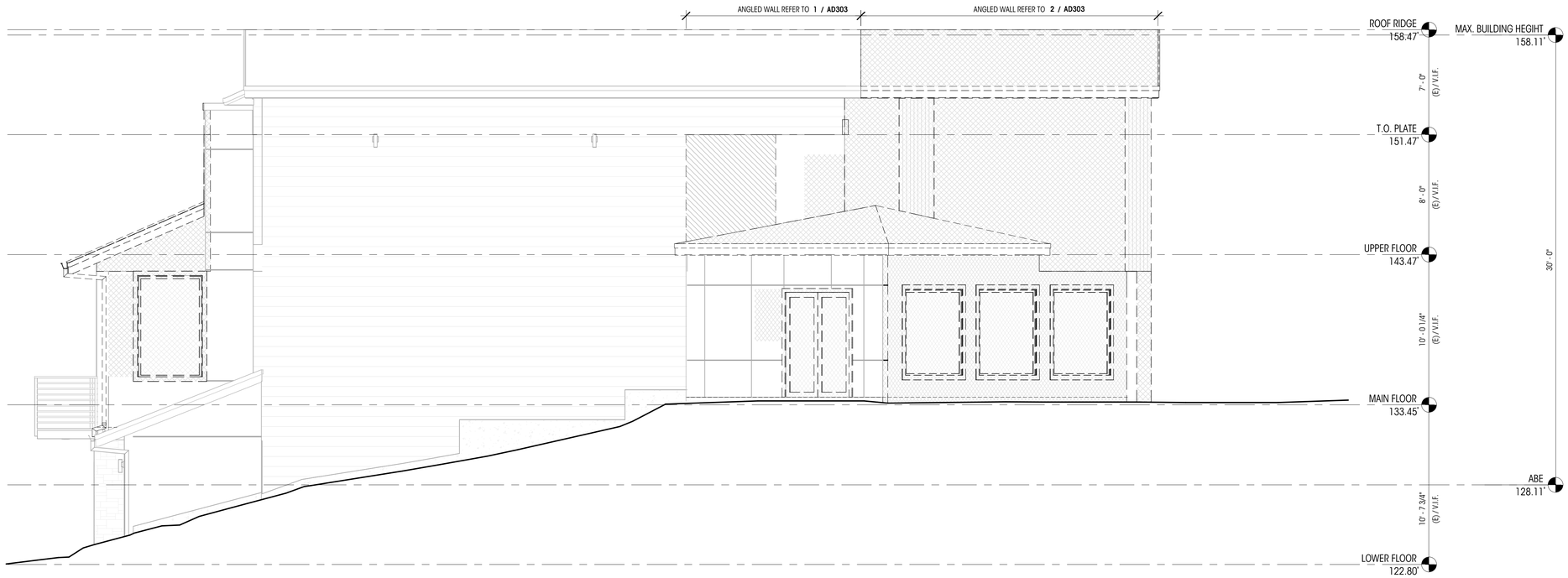

1 EXTERIOR DEMOLITION ELEVATION - NORTH
1/4" = 1'-0"

LEGEND

MAIN FLOOR F.F. 48' - 5" — ELEVATION DATUM

0 — GRIDLINE

EXISTING ELEMENT TO BE DEMOLISHED

EXISTING FINISH TO BE DEMOLISHED

EXISTING ELEMENT TO REMAIN

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
2. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
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MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

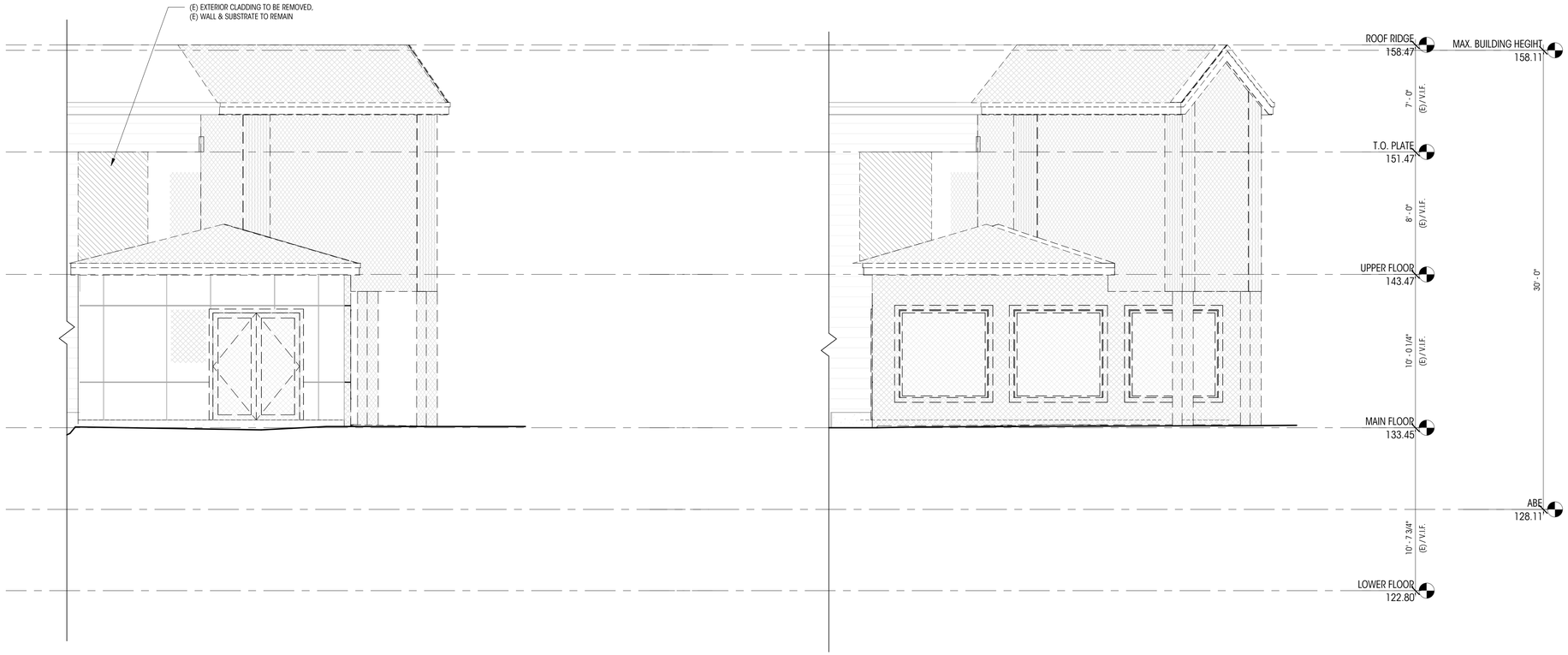
DRAWN BY: AJS
CHECKED BY: KM

DEMOLITION ELEVATIONS (NORTH)

SCALE: 1/4" = 1'-0"

AD302

9/26/2025 12:23:44 PM



1 EXTERIOR DEMOLITION ELEVATION - NORTHWEST
1/4" = 1'-0"

2 EXTERIOR DEMOLITION ELEVATION - WEST
1/4" = 1'-0"

LEGEND

MAIN FLOOR F.F. 48' - 5" — ELEVATION DATUM

0 — GRIDLINE

EXISTING ELEMENT TO BE DEMOLISHED

EXISTING FINISH TO BE DEMOLISHED

EXISTING ELEMENT TO REMAIN

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
2. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
3. CONTRACTOR TO ENSURE ADEQUATE STRUCTURAL SUPPORTS ARE IN PLACE WHEN REMOVING EXISTING STRUCTURAL ELEMENTS. QUESTIONS REGARDING THE MEANS AND METHODS OF THOSE SUPPORTS SHOULD BE DIRECTED TOWARD THE STRUCTURAL ENGINEER

Brandt
Design Group
66 Bell Street
Unit 1
Seattle, WA
98121
206.239.0850
brandtdesigninc.com

8843 REGISTERED ARCHITECT STATE OF WASHINGTON

ACKLEY RESIDENCE

9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

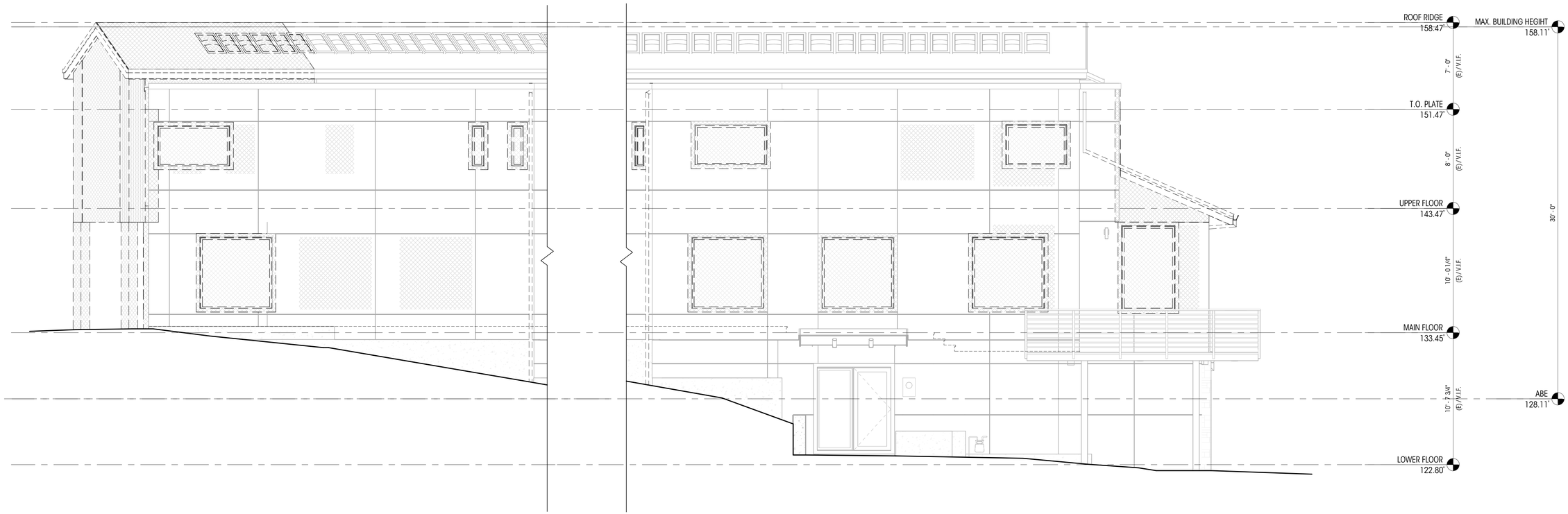
DRAWN BY: AJS
CHECKED BY: KM

DEMOLITION ELEVATIONS (NORTH WEST)

SCALE: 1/4" = 1'-0"

AD303

9/26/2025 12:23:45 PM



1 EXTERIOR DEMOLITION ELEVATION - SOUTH
1/4" = 1'-0"

2 EXTERIOR DEMOLITION ELEVATION - SOUTHEAST
1/4" = 1'-0"

LEGEND

MAIN FLOOR F.F. 48' - 5" — ELEVATION DATUM

0 — GRIDLINE

EXISTING ELEMENT TO BE DEMOLISHED

EXISTING FINISH TO BE DEMOLISHED

EXISTING ELEMENT TO REMAIN

NOTES

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2. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
3. CONTRACTOR TO ENSURE ADEQUATE STRUCTURAL SUPPORTS ARE IN PLACE WHEN REMOVING EXISTING STRUCTURAL ELEMENTS. QUESTIONS REGARDING THE MEANS AND METHODS OF THOSE SUPPORTS SHOULD BE DIRECTED TOWARD THE STRUCTURAL ENGINEER

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ACKLEY RESIDENCE

9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: AJS
CHECKED BY: KM

DEMOLITION ELEVATIONS (SOUTH & SOUTHEAST)

SCALE: 1/4" = 1'-0"

AD304

9/26/2025 12:23:45 PM

PROJECT DATA

EXISTING LOT AREA SUMMARY

GROSS LOT AREA	19100 SF
ACCESS EASEMENTS	0 SF
NET LOT AREA	19100 SF
LOT SLOPE	(137.92' - 106.00') / 174.50' = 18.29%

TREE REMOVAL

(E) TREES TO BE REMOVED	0
(N) TREES TO BE PLANTED AS REPLACEMENT	0

A

SEE SHEETS AD102 & A103 FOR LOT COVERAGE AND HARDSCAPE CALCULATIONS

EXISTING BUILDING AREA SUMMARY (GFA)

(E) BASEMENT LEVEL AND ATTACHED GARAGE (INCLUDES STAIR)	984 SF
(E) BASEMENT LEVEL BELOW GRADE	(213.83 SF)
(EXCLUDED PER *MICC CHAPTER 19 APPENDIX B*, REF. BASEMENT CALC ON SHEET A211)	
(E) MAIN LEVEL (EXCLUDES STAIR PER MICC 19.02.020.D.2.c.)	1551 SF
(E) COVERED DECKS (PER MICC 19.16.010.G.1.e.)	6 SF
(E) UPPER LEVEL	1430 SF
(INCLUDES STAIR TO MAIN LEVEL PER MICC 19.02.020.D.2.c.)	
TOTAL EXISTING BUILDING AREA (GSF)	**3757.17 SF**
EXISTING FLOOR AREA RATIO:	**3757.17 / 19100 = 19.67% OF LOT AREA**

PROPOSED BUILDING AREA SUMMARY (GFA)

(E) BASEMENT LEVEL AND ATTACHED GARAGE (INCLUDES STAIR)	984 SF
(E) BASEMENT LEVEL BELOW GRADE	(213.83 SF)
(EXCLUDED PER *MICC CHAPTER 19 APPENDIX B*, REF. BASEMENT CALC ON SHEET A211)	
MAIN LEVEL (EXCLUDES STAIR PER MICC 19.02.020.D.2.c.)	1724.52 SF
COVERED DECKS (PER MICC 19.16.010.G.1.e.)	48.60 SF
UPPER LEVEL	1851.90 SF
(INCLUDES STAIR TO MAIN LEVEL PER MICC 19.02.020.D.2.c.)	
TOTAL RESIDENCE BUILDING AREA (GSF)	**4395.19 SF**
+DETACHED SHED	198.00 SF
TOTAL PROJECT BUILDING AREA (GSF)	**4593.19 SF**

PROPOSED GROSS FLOOR AREA:	**4593.19 / 19100 = 24.05% OF LOT AREA**
40% ALLOWABLE GROSS FLOOR AREA:	19100 SF * 0.40 = 7640 SF

*NOTE, PER *MICC 19.02.040.C.1.a.*, THE COMBINED TOTAL GROSS FLOOR AREA FOR ONE OR MORE ACCESSORY BUILDING(S) SHALL NOT EXCEED 25 PERCENT OF THE TOTAL GROSS FLOOR AREA ALLOWED ON A LOT WITHIN APPLICABLE ZONING DESIGNATIONS PURSUANT TO *MICC 19.02.020*.
TOTAL ALLOWABLE GROSS FLOOR AREA = 7640 SF * 0.25 = 1910 SF
PROPOSED SHED = 198 SF < 1910 SF = **COMPLIES**

SETBACKS

SIDE YARD (PER *MICC 19.02.020.C.1.c.*)	
LOT WIDTH CIRCLE DIAMETER PER DEFINITION FOR 'LOT, IRREGULAR' AND 'LOT WIDTH' = 116' - 3"	
TOTAL: 17% OF LOT WIDTH	116.25' * 0.17 = 19.76'
MINIMUM: 33% OF SIDE YARD TOTAL	19.76' * 0.33 = 6.52'
FRONT YARD	20'
REAR YARD	25'

OCCUPANCY SUMMARY

EXISTING TYPE	R-3
OCCUPANT LOAD	SINGLE FAMILY

AVERAGE BUILDING ELEVATION (ABE)

RESIDENCE

WALL	MIDPOINT EL. (FT.)	WALL LENGTH (FT.)	PRODUCT
A	133.25'	24.74'	3,296.61
B	129.13'	28.32'	3,656.96
C	127.38'	6.46'	822.87
D	125.54'	9.17'	1,151.2
E	122.33'	13.18'	1,612.31
F	122.03'	2.01'	245.28
G	122.11'	20.1'	2,454.41
H	123.48'	45.06'	5,564.01
J	132.47'	38.54'	5,105.39
K	133.13'	24.35'	3,241.72
TOTALS		**211.93'**	**27,150.76**

AVERAGE GRADE (ABE)	27,150.76 / 211.93'	=	**128.11'**
MAX ALLOWABLE HEIGHT	30' ABOVE AVERAGE GRADE		
MAX HT. EL. / MAX BLDG. HT.	**158.11'**		
PROPOSED BUILDING HT.	**158.47' (EXISTING PEAK, NO CHANGE)**		

DETACHED ACCESSORY SHED

WALL	MIDPOINT EL. (FT.)	WALL LENGTH (FT.)	PRODUCT
A	120.5'	18'	2169
B	119.6'	11'	1315.6
C	119.88'	18'	2157.84
D	120.96'	11'	1330.56
TOTALS		**58'**	**6973**

AVERAGE GRADE (ABE)	6973 / 58'	=	**120.22'**
MAX. ALLOWABLE HEIGHT			17' ABOVE ABE
MAX HT. EL. / MAX SHED HEIGHT			**137.22'**
PROPOSED SHED HT.			**132.22'**

PER MICC 19.02.020.E.4

LOT SLOPE CALCULATION

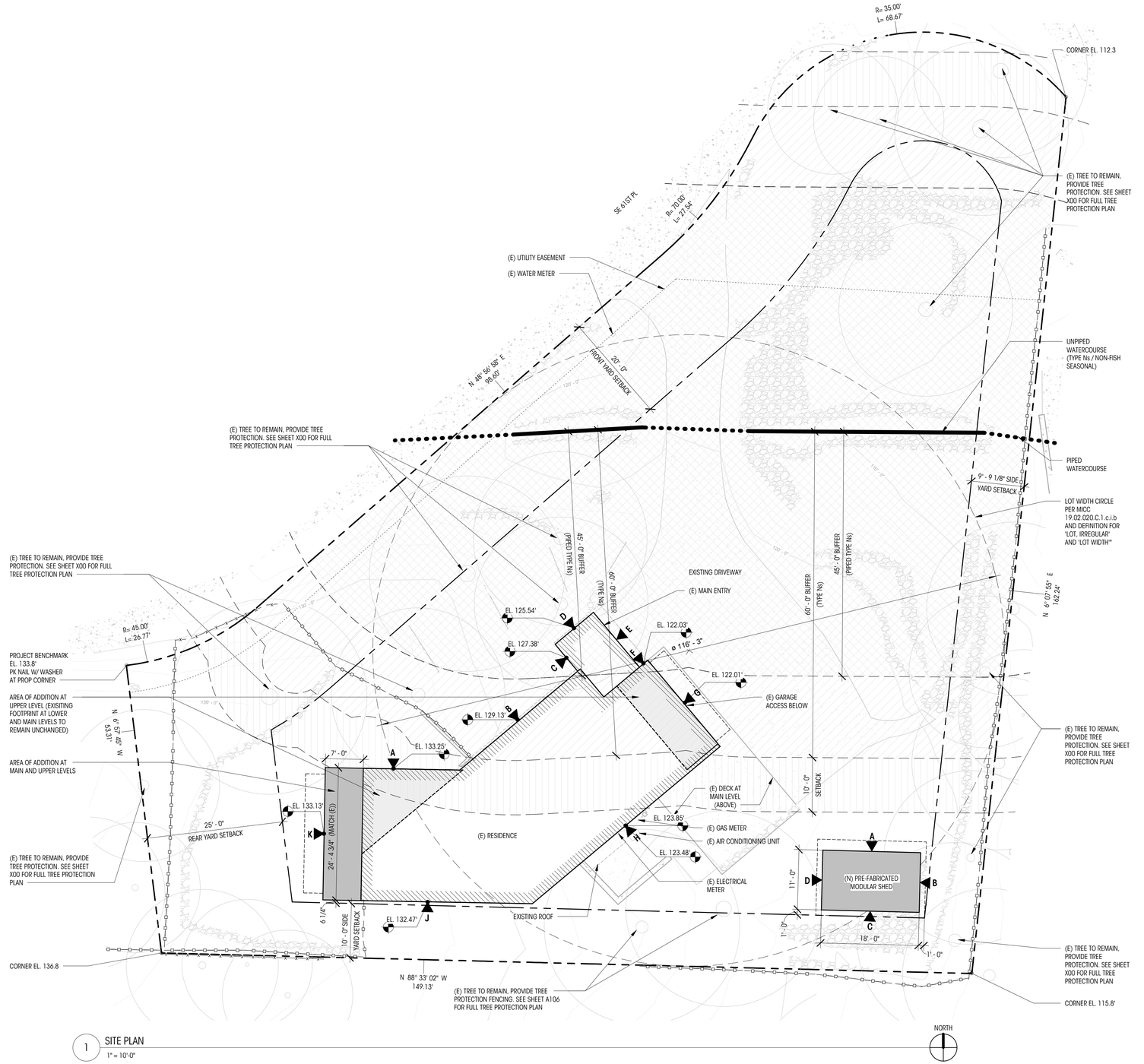
HIGHEST ELEVATION POINT ON LOT		137.92'
LOWEST ELEVATION POINT ON LOT		106.00'
ELEVATION DIFFERENCE		31.92'
HORIZONTAL DIFFERENCE BETWEEN POINTS		174.50'
LOT SLOPE	(31.92' / 174.50') * 100 =	**18.29%**

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
2. PROPERTY LINE METES & BOUNDS ARE SHOWN PER TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24
3. TREES AND CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24

LEGEND

- EL= 148.5' (+0'-0") MAIN LEVEL FIN. FLR.
- ELEVATION DATUM
- PROPERTY LINE
- SETBACK LINE
- ROOF OVERHANG
- (E) SITE WALL
- CONTOUR MAJOR
- CONTOUR MINOR
- EASEMENT
- (E) HOUSE FOOTPRINT
- (E) PATIO / WALKWAYS / CONCRETE DRIVE / PAVING
- (E) ROCKERY / HARDSCAPE
- (E) TREE TO REMAIN SEE SHEET A106 FOR ADDITIONAL INFORMATION
- PROPOSED NEW FOOTPRINT
- PROPOSED INFILL (EXISITING FOOTPRINT BELOW TO REMAIN)
- AVERAGE BUILDING ELEVATIONS
- PIPED WATER COURSE
- UNPIPED WATER COURSE
- (E) PIPED WATERCOURSE BUFFER
- (E) UNPIPED WATERCOURSE BUFFER
- BUFFER SETBACK
- (E) CHAIN LINK FENCE
- (E) WOOD FENCE
- TREE PROTECTION FENCE



1 SITE PLAN
1" = 10'-0"

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8843
REGISTERED ARCHITECT
STATE OF WASHINGTON

ACKLEY RESIDENCE

9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE:	06.30.25
SHEET SIZE:	D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE
A	PLAN CHECK 1	09.26.25

DRAWN BY:	AJS
CHECKED BY:	KM

SITE PLAN

SCALE: As indicated

A101

9/26/2025 12:23:46 PM

ZONING CALCULATIONS

LOT COVERAGE (NOTE LOT COVERAGE IS IMPERVIOUS SURFACE FOR STORMWATER CALCULATIONS) B

ROOF, GARAGE, AND OVERHANGS	(E) HOUSE	1,912.42 SF	
	(N) HOUSE	218.69 SF	
	(N) SHED	280 SF	
DRIVING SURFACES	(E) DRIVE	2,053.58 SF	
	(E) DRIVE	33.84 SF	(AREA UNDER (D) ROOF OVERHANG)
TOTAL		4,498.53 SF	
ALLOWED (**35%** OF LOT AREA)	19,100 SF * 0.35 =	6,685 SF	
PROPOSED	4,498.53 / 19100 *100 =	23.55%	

HARDSCAPE (NOTE HARDSCAPE IS IMPERVIOUS SURFACE FOR STORMWATER CALCULATIONS)

DECKS

(E)D-1	24.34 SF
	24.34 SF

PATIOS

(E)P-1	193.85 SF
(E)P-2	30.33 SF
(E)P-3	124.04 SF
(E)P-5	427.78 SF
	776.00 SF

ROCKERIES

(E)R-1	18.60 SF
(E)R-2	12.70 SF
(E)R-3	120.14 SF
(E)R-4	34.48 SF
(E)R-5	448.16 SF
(E)R-6	81.46 SF
(E)R-7	43.93 SF
(E)R-8	154.34 SF
(E)R-9	23.38 SF
(E)R-10	34.26 SF
(E)R-11	31.44 SF
(E)R-12	30.67 SF
(E)R-13	8.73 SF
(E)R-14	32.04 SF
(E)R-15	6.16 SF
(E)R-16	146.82 SF
(E)R-17	2.99 SF
(E)R-18	0.39 SF
	1,230.69 SF

SITE WALLS

(E)SW-1	0.75 SF
(E)SW-2	21.30 SF
(E)SW-3	1.93 SF
(E)SW-4	1.76 SF
(E)SW-5	1.83 SF
(E)SW-6	2.04 SF
(E)SW-7	8.55 SF
	38.16 SF

STAIRS

(E)S-1	41.57 SF
(E)S-2	33.86 SF
(E)S-3	98.29 SF
	173.72 SF

TURF PATIOS

(E)T-1	1,108.13 SF
(N)T-2	4.99 SF
(N)T-3	3.27 SF
(N)T-4	7.44 SF
	1,123.83 SF

TOTAL EXISTING AND NEW:		3,366.74 SF A
ALLOWED (9% OF LOT AREA):	19,100 SF * 0.09 =	1,719 SF

PER 19.02.020.F.3.b.ii., HARDSCAPE IMPROVEMENTS ARE PERMITTED IN THE MAXIMUM LOT COVERAGE AREA.

REMAINING LOT COVERAGE:	6,685 SF - 4,496.24 SF =	2,188.76 SF
TOTAL ALLOWABLE HARDSCAPE:	2,188.76 SF + 1,719 SF =	3,907.76 SF
	(3,907.76 / 19,100)*100 =	20.46%
PROPOSED HARDSCAPE:	3,366.74 SF / 19,100 =	17.63%

STORMWATER CALCUATIONS:

EXISTING IMPERVIOUS SURFACE (LOT COVERAGE + HARDSCAPE) 4012.13 + 3620.91 =	7633.04 SF
PROPOSED IMPERVIOUS SURFACE (LOT COVERAGE + HARDSCAPE) 4496.24 + 3366.74 =	7862.98 SF
NET INCEASE = NET INCREASE IS LESS THAN 500 SF THEREFORE DRAINAGE DESIGN IS NOT REQUIRED	229.94 SF
NEW HARD SURFACE AREA:	
(N) HOUSE FOOTPRINT AND OVERHANGS	218.69 SF
(N) SHED AND OVERHANGS	280.00 SF
REPLACED HARD SURFACE AREA	
(N) T-2 (TURF REPLACING PATIO)	4.99 SF
(N) T-3 (TURF REPLACING ROOF)	3.27 SF
(N) T-4 (TURF REPLACING ROOF)	7.44 SF
TOTAL NEW + REPLACED HARD SURFACE AREA = TOTAL IS LESS THAN 2000 SF THEREFORE DRAINAGE DESIGN IS NOT REQUIRED	514.39 SF

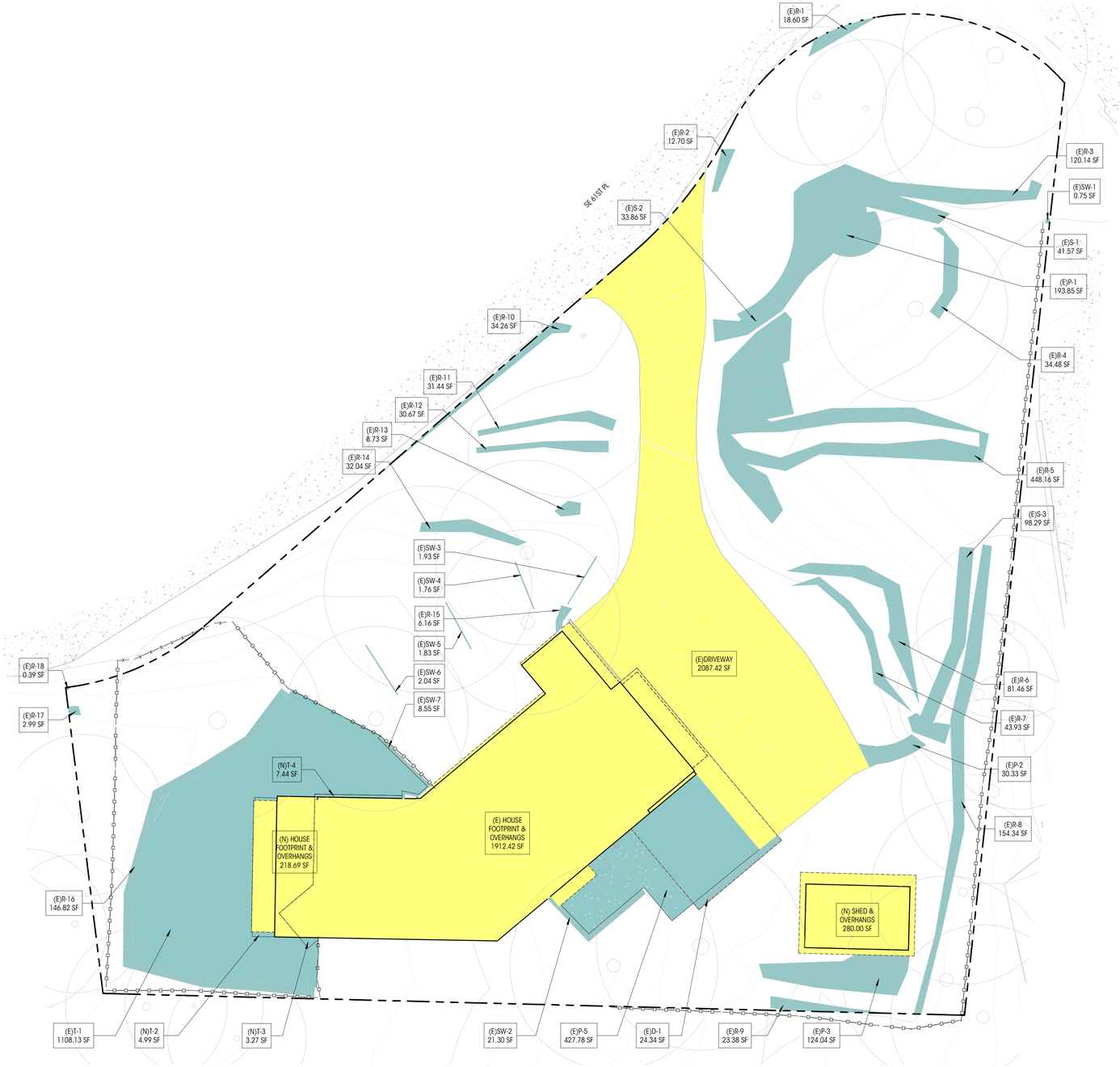
A

NOTES

1. PROPERTY LINE METES & BOUNDS ARE SHOWN PER TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24
2. TREES AND CONTOURS ARE BASED ON TOPOGRAPHIC SURVEY BY TERRANE DATED 09/20/24
3. SEE SHEET A101 FOR COMPLETE SITE PLAN

LEGEND

- EL= 148.5' (+0'-0") MAIN LEVEL FIN. FLR. — ELEVATION DATUM
- PROPERTY LINE
- SETBACK LINE
- ROOF OVERHANG
- CONTOUR MAJOR
- CONTOUR MINOR
- PROPOSED LOT COVERAGE AREA
- PROPOSED HARDSCAPE AREA



1 SITE PLAN - PROPOSED LOT COVERAGE AND HARDSCAPE CALCULATION
1" = 10'-0"

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98121
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8843 REGISTERED ARCHITECT STATE OF WASHINGTON

ACKLEY RESIDENCE

9603 SE 61 ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE
A	PLAN CHECK 1	09.26.25
B	PLAN CHECK 2	10.15.25

DRAWN BY: AJS
CHECKED BY: KM

PROPOSED LOT COVERAGE SITE PLAN

SCALE: 1" = 10'-0"

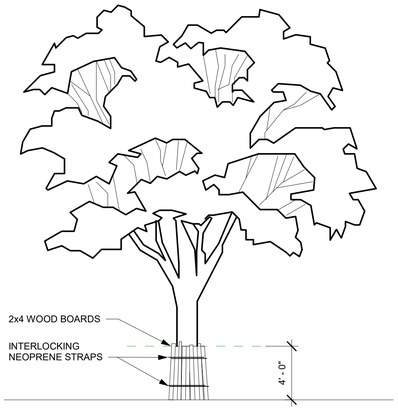
A103

DEDICATED APPROVAL STAMP SPACE

10/15/2025 3:55:56 PM

Tree Schedule								
ID	Common Name	Scientific Name	# of Trunks	DBH/DSH	Dripline	Condition	Retain	Comments
1	DOUGLAS FIR	Pseudotsuga menziesii	1	34.0"	16' - 0"	GOOD	Yes	EXCEPTIONAL
2	DOUGLAS FIR	Pseudotsuga menziesii	1	40.0"	16' - 0"	GOOD	Yes	EXCEPTIONAL
3	DOUGLAS FIR	Pseudotsuga menziesii	1	12.0"	12' - 0"	GOOD	Yes	
4	DOUGLAS FIR	Pseudotsuga menziesii	1	12.0"	12' - 0"	GOOD	Yes	
5	DOUGLAS FIR	Pseudotsuga menziesii	1	32.0"	16' - 0"	GOOD	Yes	EXCEPTIONAL
6	DOUGLAS FIR	Pseudotsuga menziesii	1	28.0"	16' - 0"	GOOD	Yes	
7	DOUGLAS FIR	Pseudotsuga menziesii	1	28.0"	16' - 0"	GOOD	Yes	
8	DOUGLAS FIR	Pseudotsuga menziesii	1	36.0"	18' - 0"	GOOD	Yes	EXCEPTIONAL
9	DOUGLAS FIR	Pseudotsuga menziesii	0	30.0"	16' - 0"	GOOD	Yes	EXCEPTIONAL
10	DOUGLAS FIR	Pseudotsuga menziesii	1	36.0"	18' - 0"	GOOD	Yes	EXCEPTIONAL
11	DOUGLAS FIR	Pseudotsuga menziesii	1	24.0"	14' - 0"	GOOD	Yes	
12	DOUGLAS FIR	Pseudotsuga menziesii	1	27.0"	18' - 0"	GOOD	Yes	TRUNK PROTECTION & ROOT PROTECTION
13	DOUGLAS FIR	Pseudotsuga menziesii	1	34.0"	18' - 0"	GOOD	Yes	EXCEPTIONAL, TRUNK PROTECTION & ROOT PROTECTION
14	DOUGLAS FIR	Pseudotsuga menziesii	1	28.0"	18' - 0"	GOOD	Yes	
15	DOUGLAS FIR	Pseudotsuga menziesii	1	18.0"	16' - 0"	GOOD	Yes	
16	DOUGLAS FIR	Pseudotsuga menziesii	1	24.0"	14' - 0"	GOOD	Yes	
17	DOUGLAS FIR	Pseudotsuga menziesii	1	26.0"	16' - 0"	GOOD	Yes	
18			1	6.0"	12' - 0"	GOOD	Yes	OFFSITE
19	DOUGLAS FIR	Pseudotsuga menziesii	1	26.0"	16' - 0"	GOOD	Yes	OFFSITE
20	DOUGLAS FIR	Pseudotsuga menziesii	1	26.0"	16' - 0"	GOOD	Yes	OFFSITE
21	PINE	Pinus	1	12.0"	12' - 0"	GOOD	Yes	OFFSITE
22	PINE	Pinus	1	8.0"	12' - 0"	GOOD	Yes	OFFSITE
23	PINE	Pinus	1	16.0"	14' - 0"	GOOD	Yes	OFFSITE
24	DOUGLAS FIR	Pseudotsuga menziesii	1	14.0"	12' - 0"	GOOD	Yes	OFFSITE
25	DOUGLAS FIR	Pseudotsuga menziesii	1	18.0"	14' - 0"	GOOD	Yes	OFFSITE

NOTE:
TREE 9 & 10: THERE WILL BE SIGNIFICANTLY LESS THAN THE ALLOWED 25% ENCROACHMENT OF THE ROOT SYSTEM OF THE NEARBY TREE (AS PER THE GUIDELINES FROM THE INTERNATIONAL SOCIETY OF ARBORICULTURE). ROOTS MAY NOT BE PRESENT AS THE ROCK WALL ADJACENT WILL HAVE DEFORMED THE ROOT PLAT.

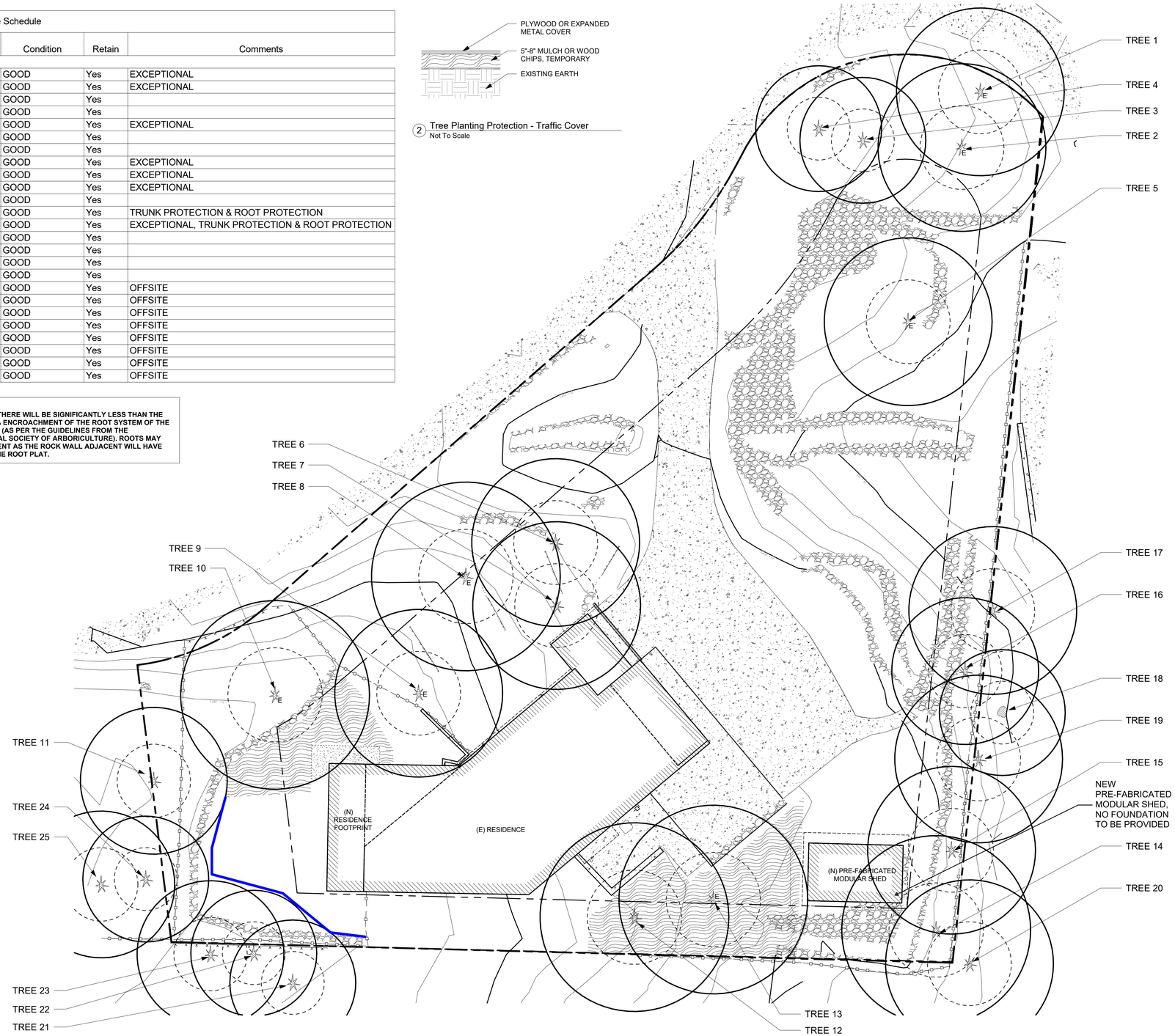


3 Trunk Protection
Not To Scale

	TREE DRIP LINE
	EVERGREEN TREE
	DECIDUOUS TREE
	TREE TO BE REMOVED (NONE PROPOSED)
	TREE PROTECTION FENCING MUST BE PLACED PRIOR TO CONSTRUCTION ACTIVITY
E-	"E" REPRESENTS EXCEPTIONAL TREES. IN EXCESS OF 36" DBH
	6"-8" DEEP MULCH

4 Symbols Legend
Not To Scale

2 Tree Planting Protection - Traffic Cover
Not To Scale



ARBORISTS SITE PLAN
1" = 10'-0"

PREPARED BY:

NEAL BAKER
ARBORISTS NW.COM
ISA CERT. PN1075A
TRAQ ISA (TREE RISK ASSESSMENT QUALIFIED)
MEMBER AREA & SOCA
PH: 206 779 2579

arboristsNW

Arborists NW is a full spectrum arboricultural, consulting and landscape design and installation provider. When you think tree and landscape services, think Arborists NW.

ONLINE: https://arboristsnw.com/
PHONE: 206-779-2579
EMAIL: neal@arboristsnw.com

No.	Description	Date

ACKLEY RESIDENCE
9603 SE 61ST PLACE, MERCER ISLAND, WA 98040

ACKLEY RESIDENCE

ARBORIST TREE PLAN

Project number	25006
Date	
Drawn by	CW
Checked by	NB
	X100
Scale	As indicated

7/24/2025 11:00:30 PM

TREE PROTECTION AREA (TPZ)

KEEP OUT!

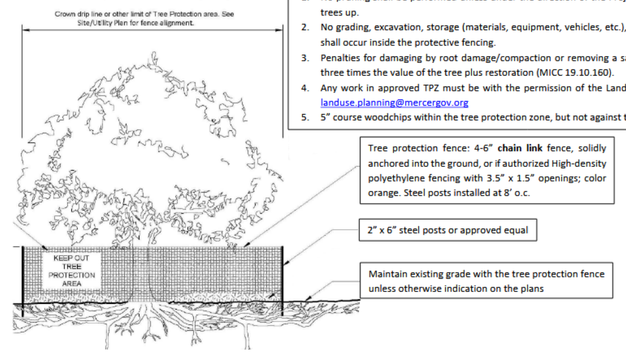
DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

1. Correction Notices or Stop Work Orders until compliance is achieved
2. RE Inspection Fees/financial penalties
3. Arborist reports recommending mitigation

Notes

1. No pruning shall be performed unless under the direction of the Project Arborist. Including limbing trees up.
2. No grading, excavation, storage (materials, equipment, vehicles, etc.), or other unpermitted activity shall occur inside the protective fencing.
3. Penalties for damaging by root damage/compaction or removing a saved tree may be a fine up to three times the value of the tree plus restoration (MICC 19.10.160).
4. Any work in approved TPZ must be with the permission of the Land Use and Planning Division at landuse.planning@mercergov.org
5. 5" course woodchips within the tree protection zone, but not against the tree trunk.



Any Work in the protected area must be with the permission of the Land Use and Planning Division at landuse.planning@mercergov.org

A

1 MERCER ISLAND TREE PROTECTION
1/4" = 1'-0"

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PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE
A	PLAN CHECK 1	09.26.25

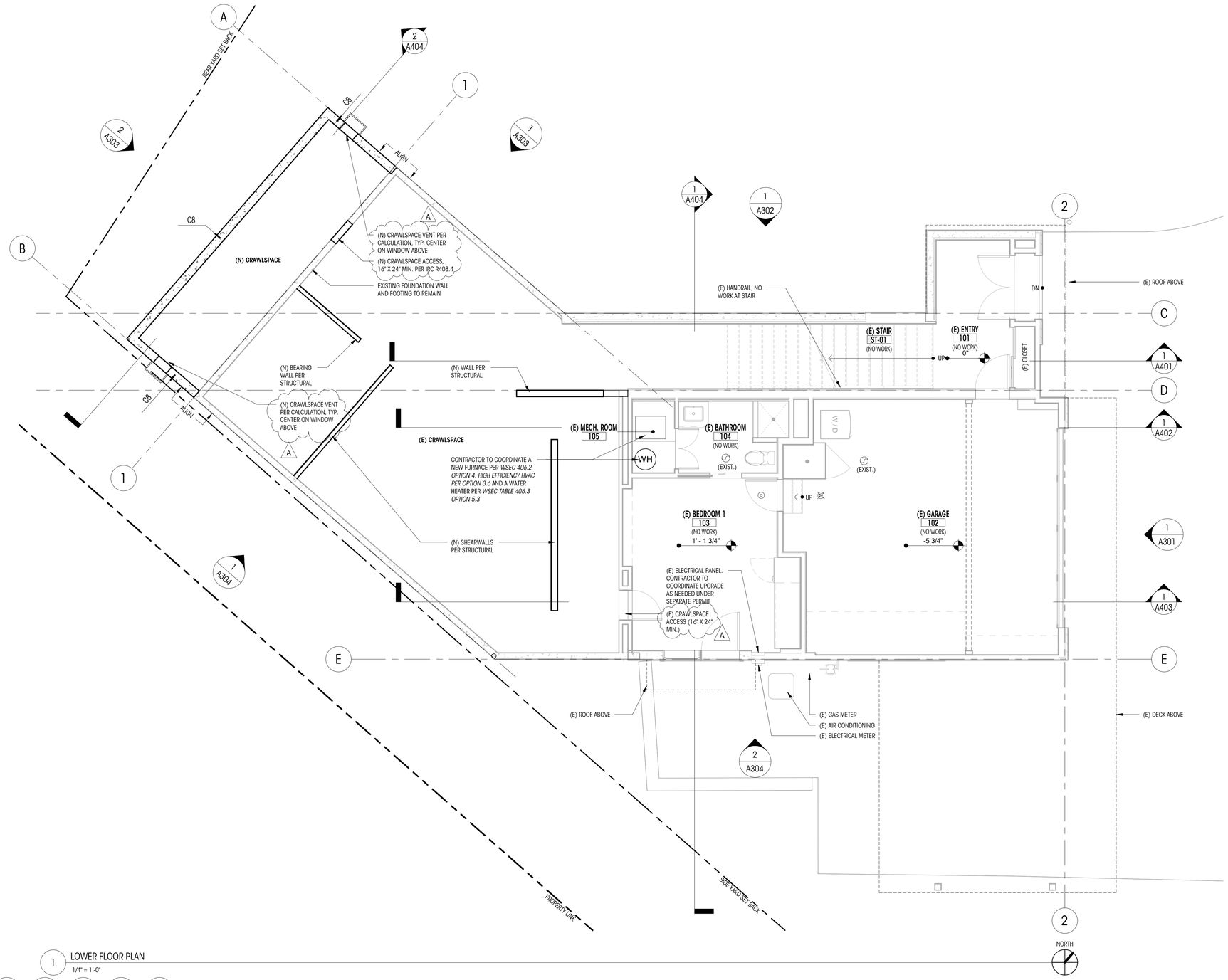
DRAWN BY: AJS
CHECKED BY: KM

TREE DETAILS

SCALE: 1/4" = 1'-0"

A107

9/26/2025 12:24:00 PM



1 LOWER FLOOR PLAN
1/4" = 1'-0"

CRAWLSPACE VENTILATION CALC

UNDERFLOOR VENTILATION AND OPENINGS SHALL COMPLY WITH IRC R408

REQUIRED VENTILATION: 1 SF / 300 SF OF TOTAL CRAWLSPACE AREA

NEW CRAWLSPACE AREA = 148 / 300 = 0.49 SF = **148 SF** / **70.56 SQ IN**

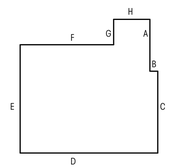
PROPOSED VENTILATION:
PROVIDE (2) VENTS @ 50 SQ IN / VENT
MINIMUM NET CLEAR VENTING AREA PER IRC R408.2
SEE LOWER LEVEL PLAN FOR VENT LOCATIONS

BASEMENT LEVEL BELOW GRADE AREA CALC

WALL SEGMENT	LENGTH	COVERAGE	RESULT
A	13.30'	0%	0'
B	2.01'	0%	0'
C	20.51'	0%	0'
D	35.29'	0%	0'
E	27.27'	30.10%	8.21'
F	24.14'	64.90%	15.67'
G	6.54'	47.11%	3.08'
H	9.13'	33.65%	3.07'
TOTALS	**138.19'**		**30.03'**

TOTAL BASEMENT GSF = 984 SF
PORTION OF EXCLUDED BASEMENT FLOOR AREA:
(30.03' / 138.19') * 984 SF = 213.83 SF

NET BASEMENT GFA: (984 SF - 213.83 SF) = **770.17 SF**



LEGEND

- 200A — WINDOW ID
- 100A — DOOR ID
- 100A — FINISH ID
- ROOM NAME 101 — ROOM ID
- W4a — ASSEMBLY ID
- FAN - 100 CFM U.N.O.
- NEW WALL
- WALL TO REMAIN
- MAIN FLOOR F.F. 48' - 5" — ELEVATION DATUM
- 0 — GRIDLINE
- SMOKE DETECTOR
- SMOKE/CARBON MONOXIDE DETECTOR
- PROPERTY LINE
- SETBACK LINE
- OVERHEAD ELEMENTS
- NEW FLOOR

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
2. ALL DIMENSIONS AT KITCHEN TO EDGE OF COUNTERTOPS, U.N.O.
3. ALL INTERIOR DOOR SWING-SIDE JAMBS ARE 4" FROM ADJACENT WALL, U.N.O.
4. SEE RCP FOR SMOKE / CARBON MONOXIDE DETECTOR AND EXHAUST FAN LOCATIONS
5. ALL NEW WALLS TYPE P4a UNLESS NOTED OTHERWISE
6. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION
7. VERIFY SMOKE ALARMS ARE NOTED OUTSIDE OF EACH BEDROOM IN THE IMMEDIATE VICINITY ON EACH FLOOR LEVEL PER IRC SECTION 314.2.2.
8. VERIFY CARBON MONOXIDE ALARMS ARE NOTED OUTSIDE OF EACH BEDROOM IN THE IMMEDIATE VICINITY ON EACH FLOOR LEVEL PER IRC SECTION 315.3.
9. FLOOR, CEILING, AND WALL ASSEMBLIES ARE LISTED ON SHEETS A701.

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9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE
A	PLAN CHECK 1	09.26.25

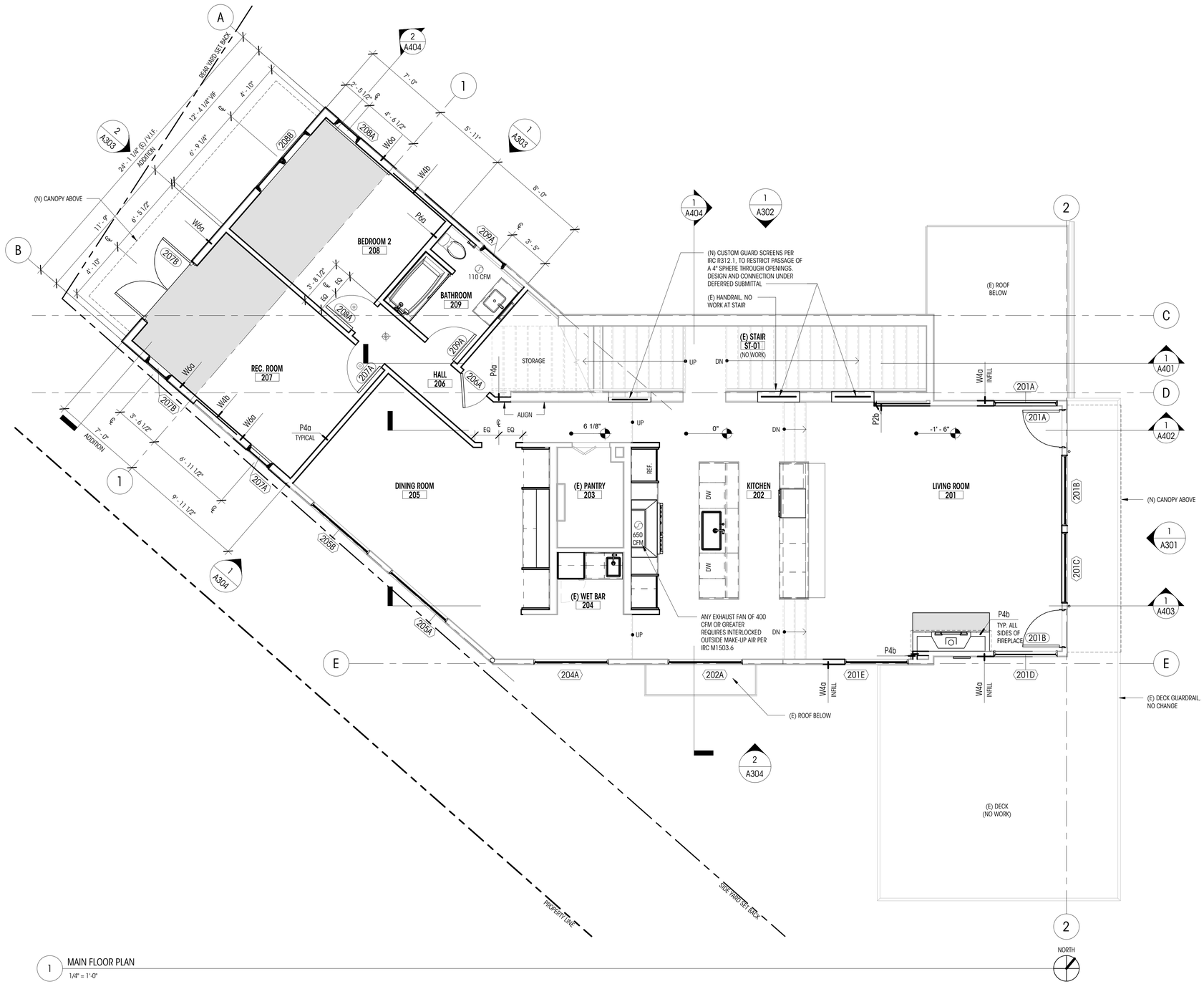
DRAWN BY: AJS
CHECKED BY: KM

LOWER FLOOR PLAN

SCALE: As indicated

A211

9/26/2025 12:23:48 PM



1 MAIN FLOOR PLAN
1/4" = 1'-0"

LEGEND

- 200A WINDOW ID
- 100A DOOR ID
- 100A FINISH ID
- ROOM NAME 101 ROOM ID
- W4a ASSEMBLY ID
- FAN - 100 CFM U.N.O.
- NEW WALL
- WALL TO REMAIN
- MAIN FLOOR F.F. 48' - 5" ELEVATION DATUM
- 0 GRIDLINE
- SMOKE DETECTOR
- SMOKE/CARBON MONOXIDE DETECTOR
- PROPERTY LINE
- SETBACK LINE
- OVERHEAD ELEMENTS
- NEW FLOOR

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
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NO.	DESCRIPTION	DATE

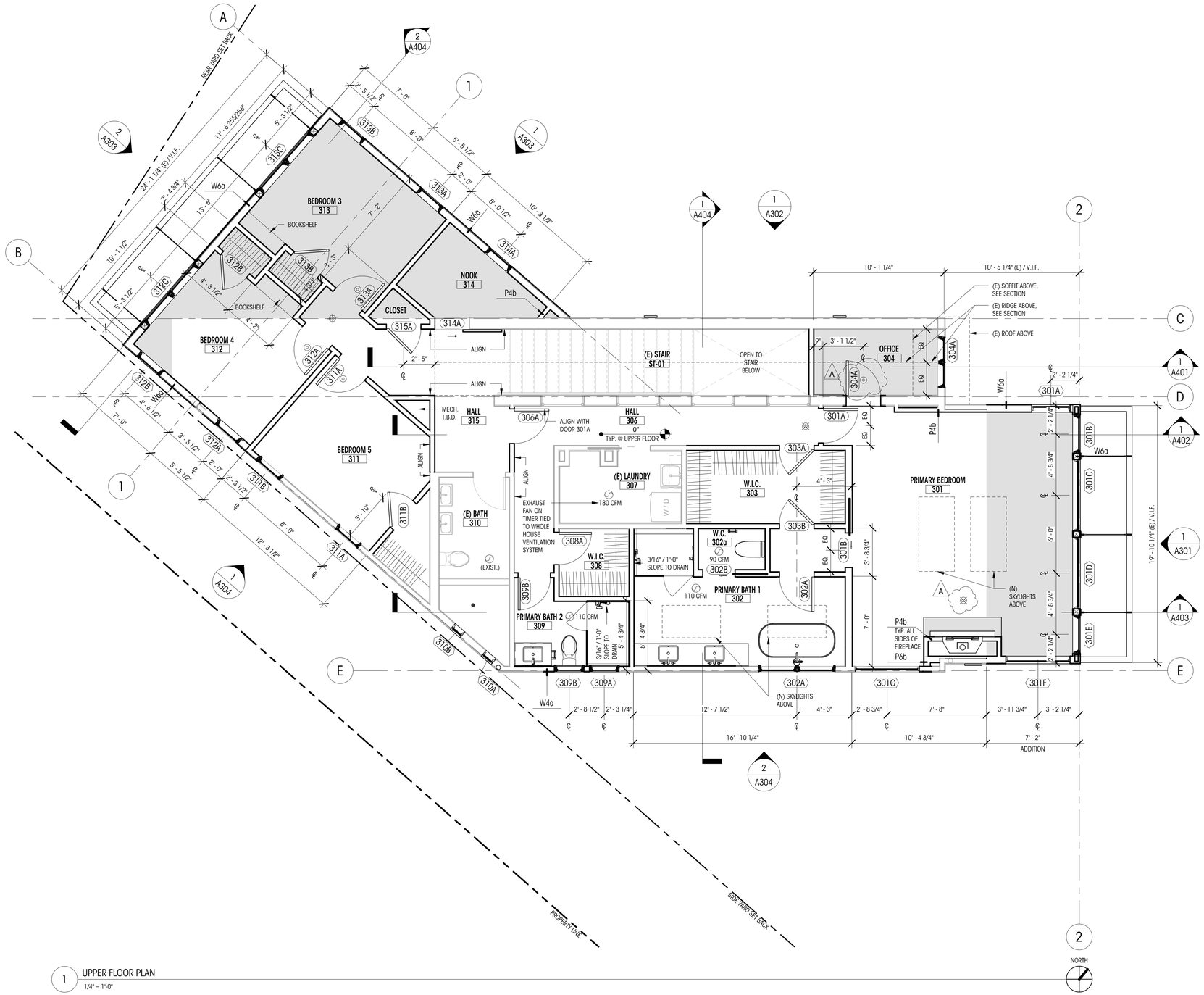
DRAWN BY: AJS
CHECKED BY: KM

MAIN FLOOR PLAN

SCALE: 1/4" = 1'-0"

A212

9/26/2025 12:23:48 PM



1 UPPER FLOOR PLAN
1/4" = 1'-0"

NORTH

LEGEND

- 200A — WINDOW ID
- 100A — DOOR ID
- 100A — FINISH ID
- ROOM NAME 101 — ROOM ID
- W4a — ASSEMBLY ID
- FAN - 100 CFM U.N.O.
- NEW WALL
- WALL TO REMAIN
- MAIN FLOOR F.F. 48' - 5" — ELEVATION DATUM
- 0 — GRIDLINE
- SMOKE DETECTOR
- SMOKE/CARBON MONOXIDE DETECTOR
- PROPERTY LINE
- SETBACK LINE
- OVERHEAD ELEMENTS
- NEW FLOOR

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
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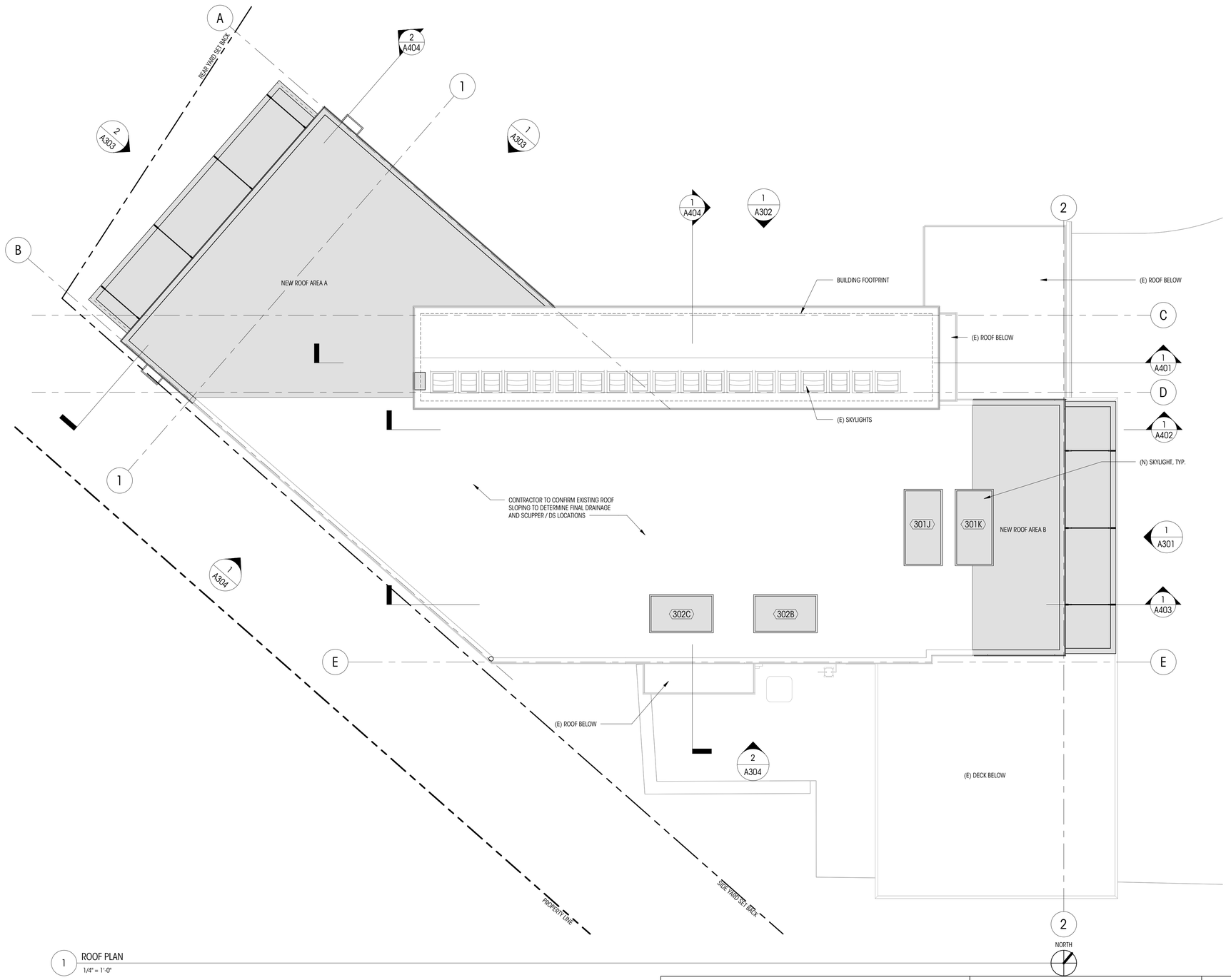
DRAWN BY: AJS
CHECKED BY: KM

UPPER FLOOR PLAN

SCALE: 1/4" = 1'-0"

A213

9/26/2025 12:23:50 PM



1 ROOF PLAN
1/4" = 1'-0"

LEGEND

- 200A — WINDOW ID
- MAIN FLOOR F.F. 48' - 5" — ELEVATION DATUM
- 0 — GRIDLINE
- NEW ROOF AREA
- EXISTING ROOF STRUCTURE TO REMAIN
- BUILDING FOOTPRINT
- 4" / 1'-0" — SPOT SLOPE

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
2. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. ROOF ASSEMBLIES ARE LISTED ON SHEET A701
4. EXISTING ROOF VENTILATION TO BE VERIFIED BY CONTRACTOR

ROOF VENTILATION CALC

NEW ROOF TO MATCH EXISTING ROOF
VENTILATION PER IRC R806

REQUIRED VENTILATION: 1 SF/150 SF OF TOTAL ROOF AREA

NEW ROOF AREA 'A':		
NEW TRUSS ROOF AREA =		**401.41 SF**
REQUIRED VENTILATION = 401.41 SF / 150 =	**2.68 SF =**	**385.92 SQ IN.**
PROPOSED VENTILATION ROOF AREA 'A':		
(3) EXHAUST VENT W/ 78 SQ. IN. NET FREE AREA =		234 SQ. IN.
(3) INTAKE VENTS W/ 63 SQ. IN. NET FREE AREA =		189 SQ. IN.
TOTAL PROPOSED VENTILATION =		**423 SQ. IN.** ***COMPLIES***
NEW ROOF AREA 'B':		
NEW TRUSS ROOF AREA =		**134.47 SF**
REQUIRED VENTILATION = 134.47 SF / 150 =	**.958 SF =**	**137.95 SQ.IN.**
PROPOSED VENTILATION ROOF AREA 'B'		
(3) EXHAUST VENT W/ 78 SQ. IN. NET FREE AREA =		243 SQ. IN.
(3) INTAKE VENTS W/ 60 SQ. IN. NET FREE AREA =		189 SQ. IN.
TOTAL PROPOSED VENTILATION =		**423 SQ. IN.** ***COMPLIES***

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REVISIONS

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DRAWN BY: AJS
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ROOF PLAN

SCALE: 1/4" = 1'-0"

A214

9/26/2025 12:23:50 PM

1 EXTERIOR ELEVATION - NORTHEAST
1/4" = 1'-0"

LEGEND

0	GRIDLINE	200A	WINDOW ID
FINISH FLOOR 122.80'	ELEVATION DATUM	100A	DOOR ID
		E	EGRESS UNIT
		S	SAFETY GLAZING

NOTES

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2. ALL DIMENSIONS ASSOCIATED WITH (E) CONSTRUCTION ARE ASSUMED. CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD AND CONTACT ARCHITECT WITH ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
3. EXISTING SIDING, DOORS AND WINDOWS TO BE REPLACED THROUGHOUT, U.N.O.

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REVISIONS

NO.	DESCRIPTION	DATE

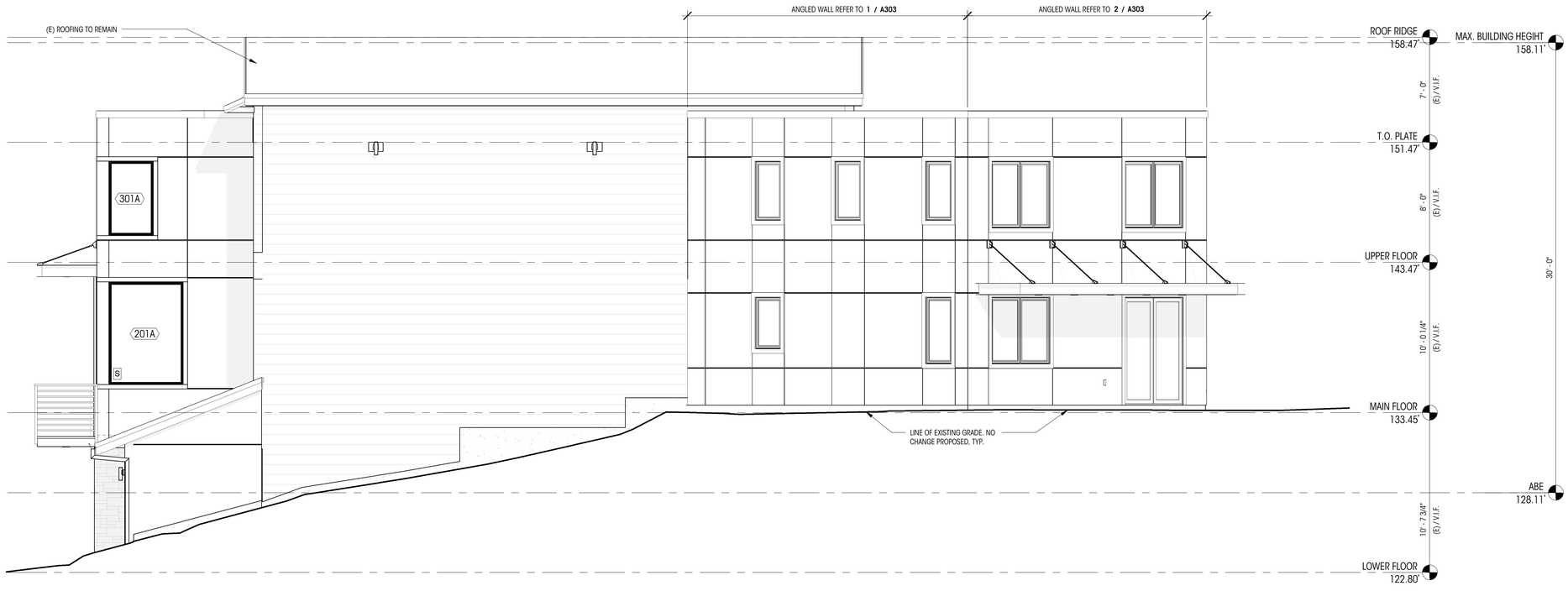
DRAWN BY: AJS
CHECKED BY: KM

EXTERIOR ELEVATIONS (NORTHEAST)

SCALE: 1/4" = 1'-0"

A301

9/26/2025 12:23:52 PM



1 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

LEGEND

0	GRIDLINE	200A	WINDOW ID
FINISH FLOOR 122.80'	ELEVATION DATUM	100A	DOOR ID
		E	EGRESS UNIT
		S	SAFETY GLAZING

NOTES

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REVISIONS

NO.	DESCRIPTION	DATE

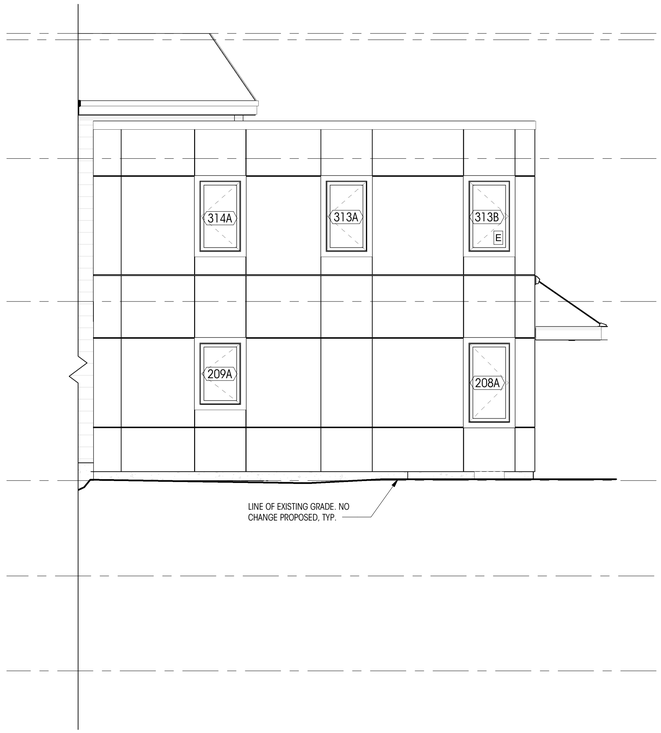
DRAWN BY: AJS
CHECKED BY: KM

EXTERIOR ELEVATIONS (NORTH)

SCALE: 1/4" = 1'-0"

A302

9/26/2025 12:23:53 PM



1 EXTERIOR ELEVATION - NORTHWEST
1/4" = 1'-0"

2 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"

LEGEND

0	GRIDLINE	200A	WINDOW ID
FINISH FLOOR 122.80'	ELEVATION DATUM	100A	DOOR ID
		E	EGRESS UNIT
		S	SAFETY GLAZING

NOTES

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3. EXISTING SIDING, DOORS AND WINDOWS TO BE REPLACED THROUGHOUT, U.N.O.

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MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: AJS
CHECKED BY: KM

EXTERIOR ELEVATIONS (NORTH WEST)

SCALE: 1/4" = 1'-0"

A303

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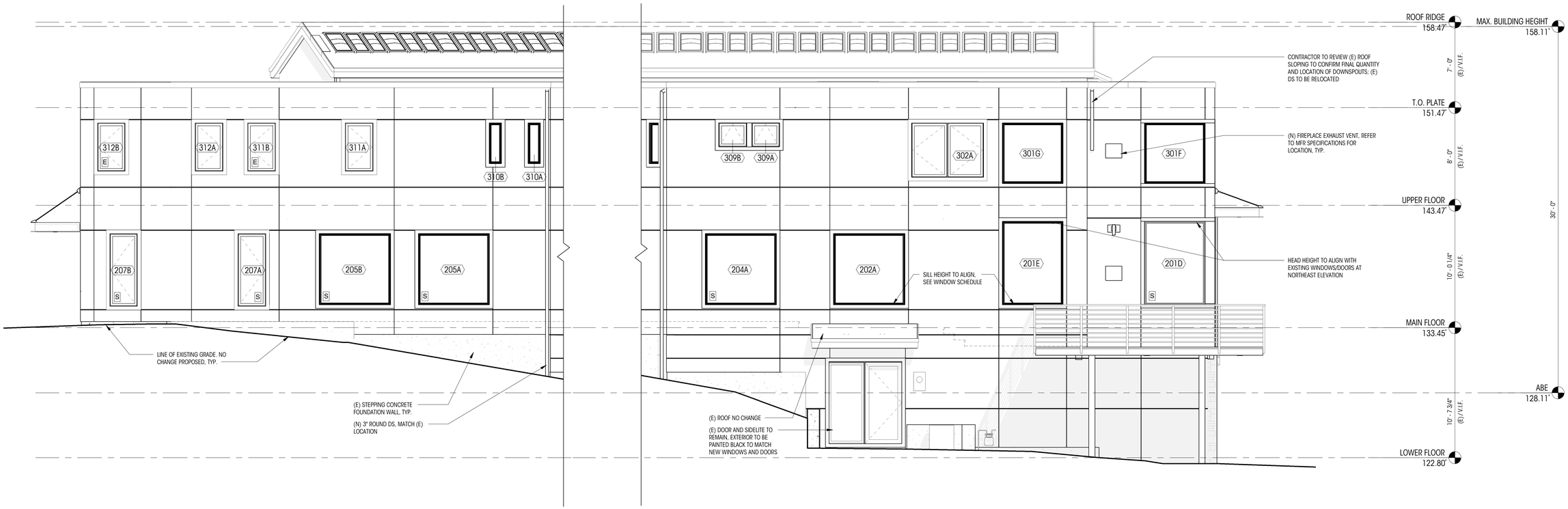

1 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

2 EXTERIOR ELEVATION - SOUTHEAST
1/4" = 1'-0"

LEGEND

0	GRIDLINE	200A	WINDOW ID
FINISH FLOOR 122.80'	ELEVATION DATUM	100A	DOOR ID
		E	EGRESS UNIT
		S	SAFETY GLAZING

NOTES

1. ALL DIMENSIONS AT WALLS TO FACE OF FRAMING, OR FACE OF CONCRETE, U.N.O.
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PERMIT SET

DATE:	06.30.25
SHEET SIZE:	D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY:	AJS
CHECKED BY:	KM

EXTERIOR ELEVATIONS (SOUTH & SOUTHEAST)

SCALE: 1/4" = 1'-0"

A304

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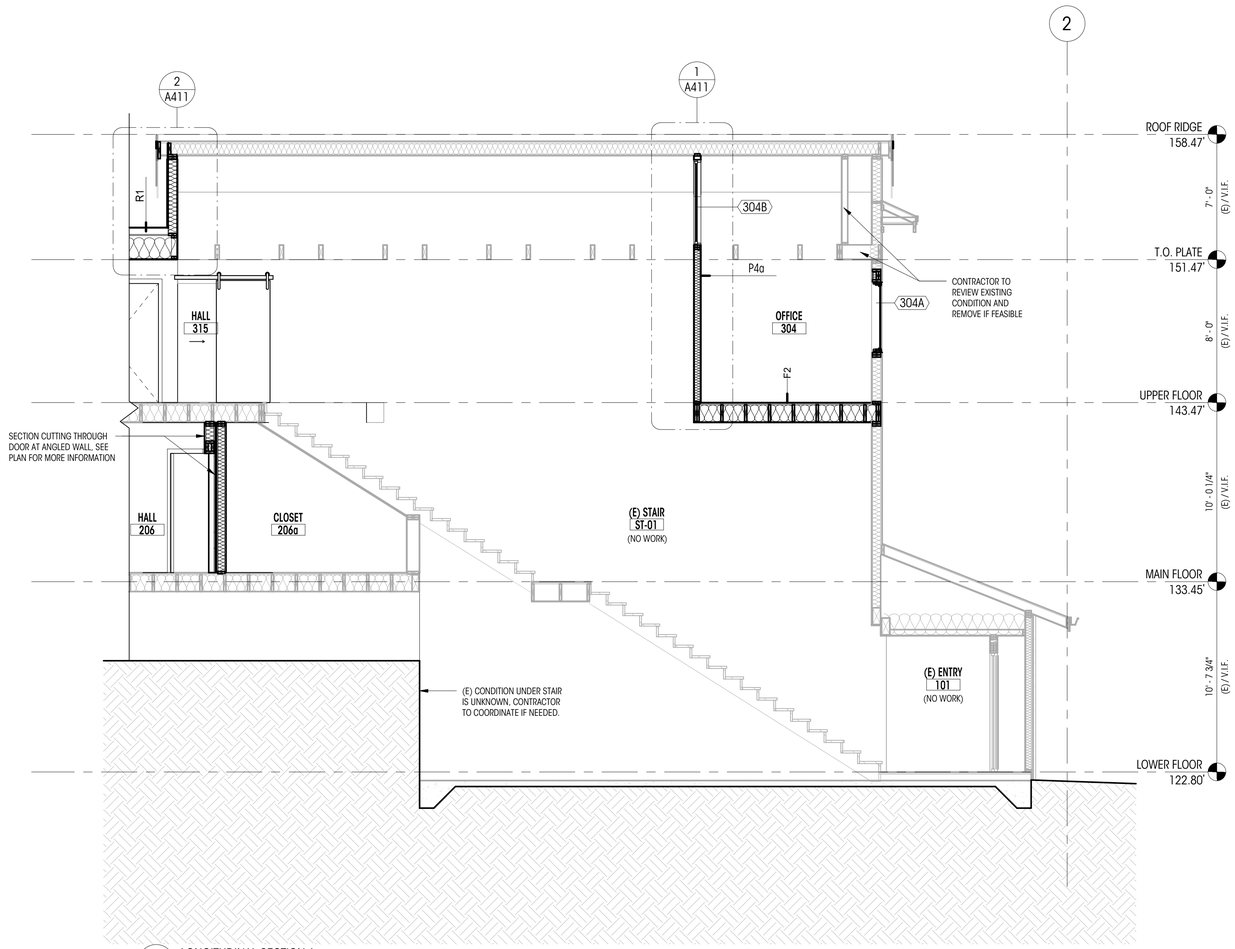

1 LONGITUDINAL SECTION A

1/4" = 1'-0"

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PERMIT SET

DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

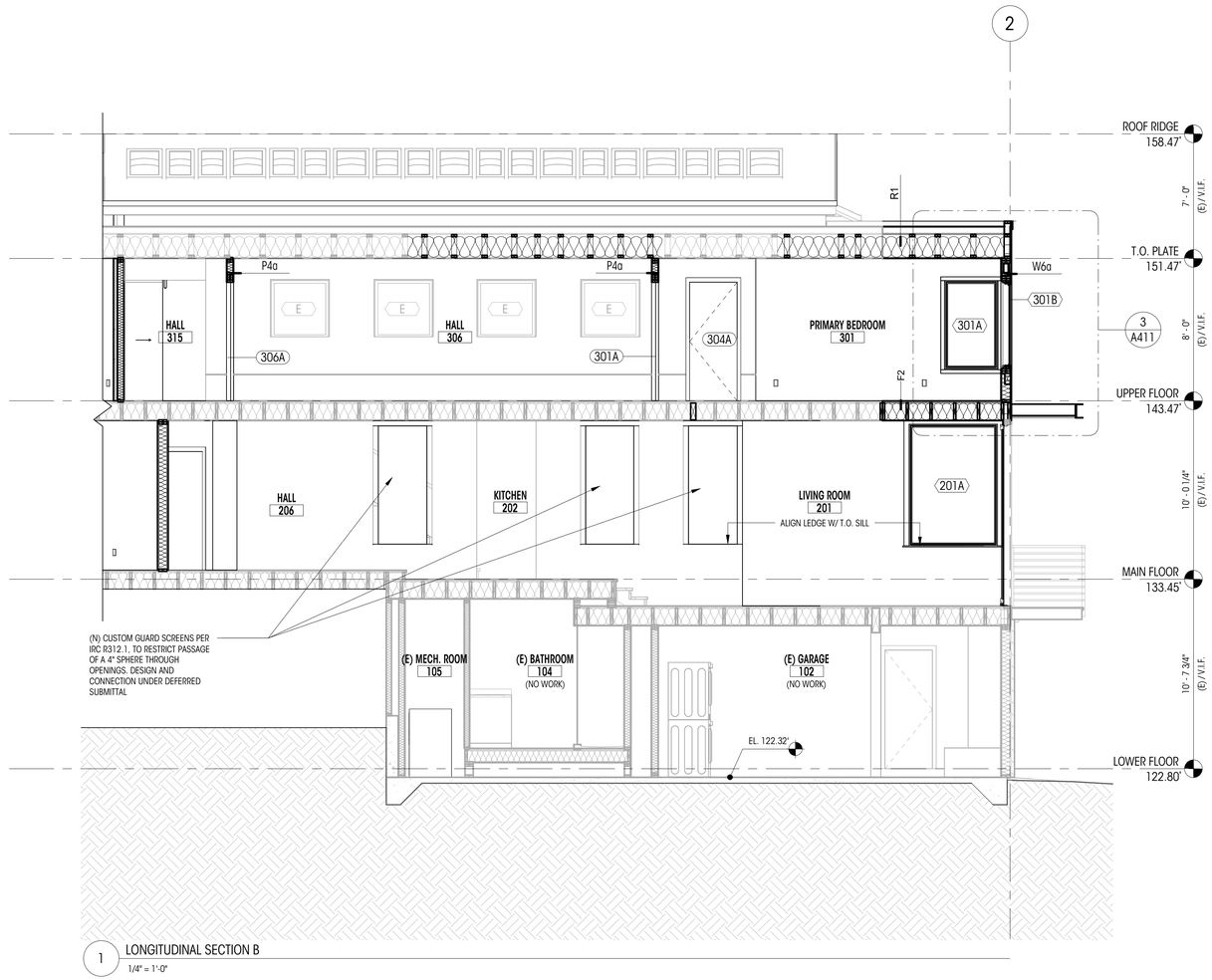
DRAWN BY: AJS
CHECKED BY: KM

BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

A401

9/26/2025 12:23:56 PM



1 LONGITUDINAL SECTION B
1/4" = 1'-0"

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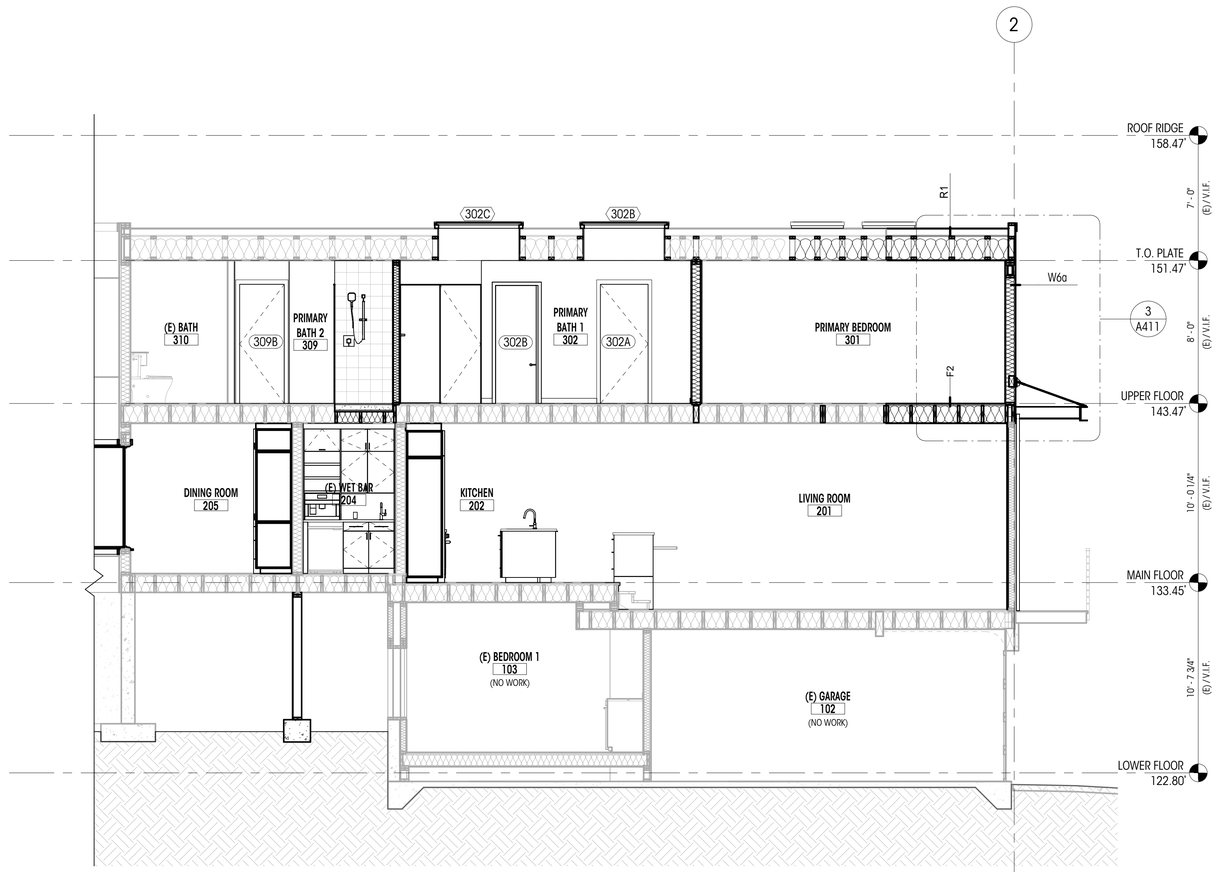
DRAWN BY: AJS
CHECKED BY: KM

BUILDING SECTIONS

SCALE: 1/4" = 1'-0"

A402

9/26/2025 12:23:56 PM



1 LONGITUDINAL SECTION C
1/4" = 1'-0"

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DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

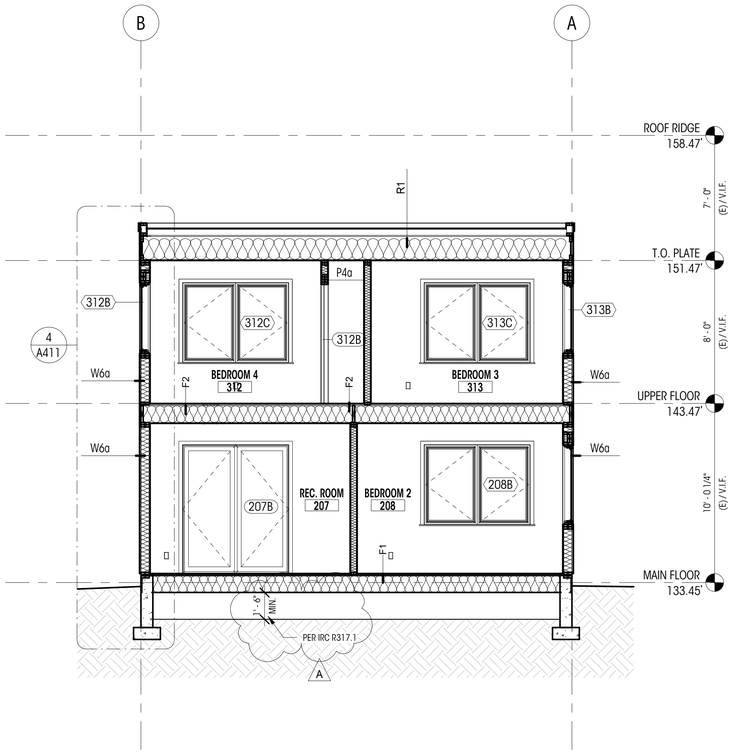
DRAWN BY: AJS
CHECKED BY: KM

BUILDING SECTIONS

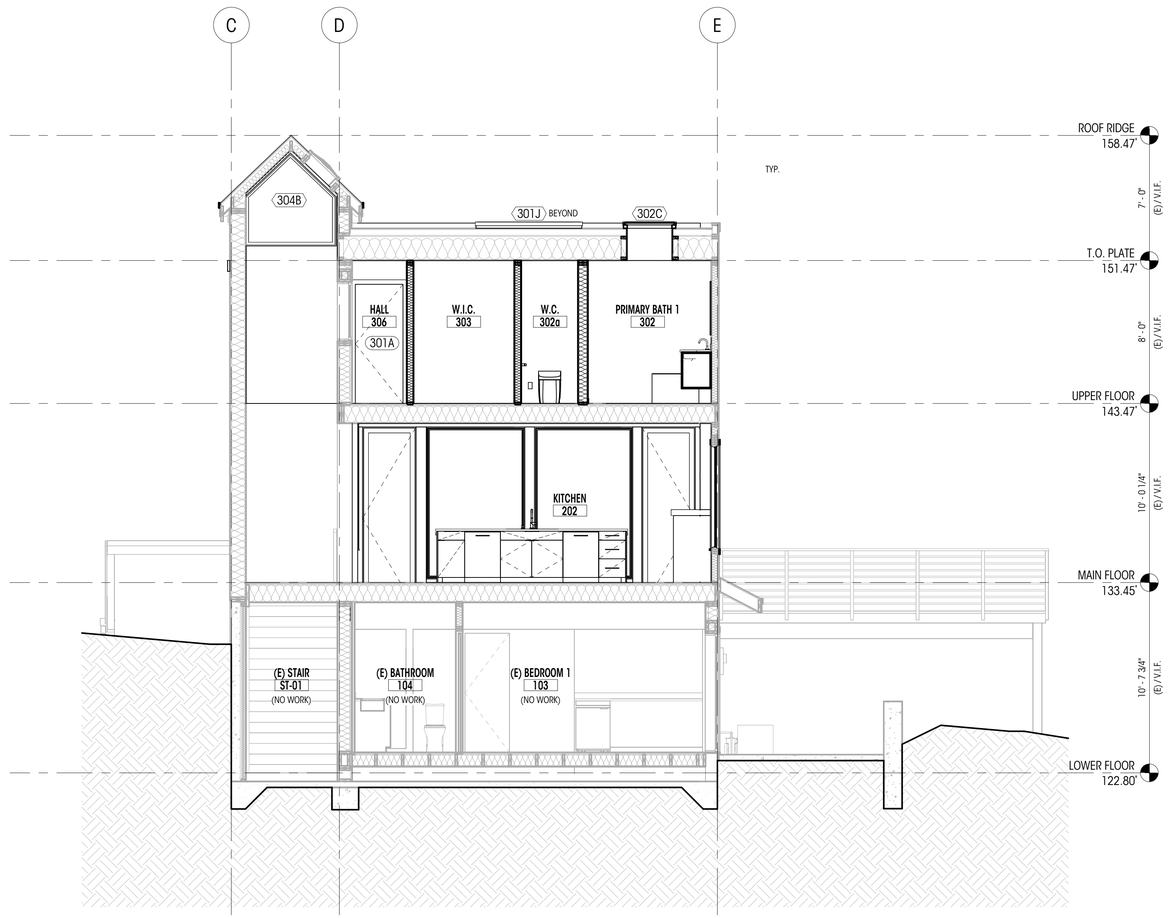
SCALE: 1/4" = 1'-0"

A403

9/26/2025 12:23:57 PM



2 TRANVERSE SECTION B
1/4" = 1'-0"



1 TRANVERSE SECTION A
1/4" = 1'-0"

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PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE
A	PLAN CHECK 1	09.26.25

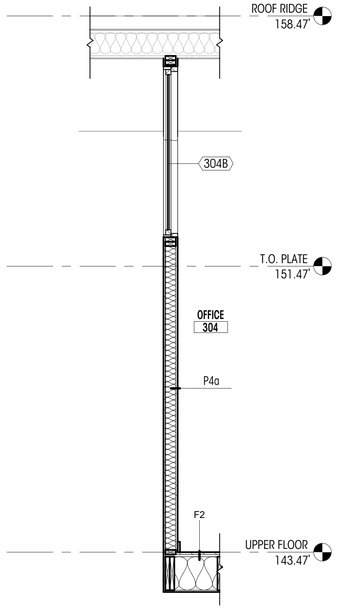
DRAWN BY: AJS
CHECKED BY: KM

BUILDING SECTIONS

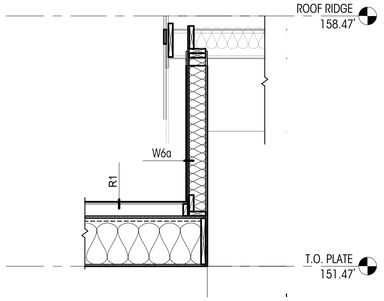
SCALE: 1/4" = 1'-0"

A404

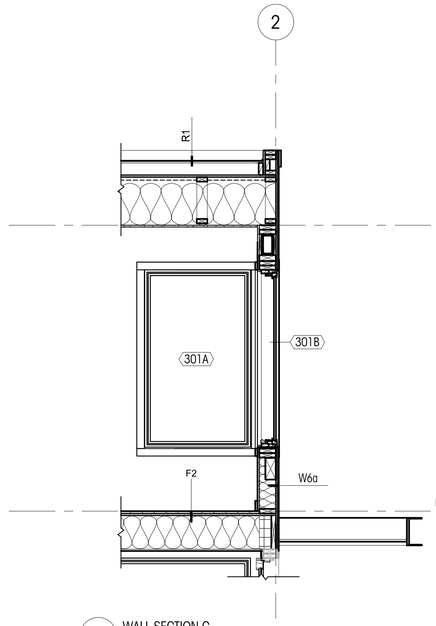
9/26/2025 12:23:57 PM



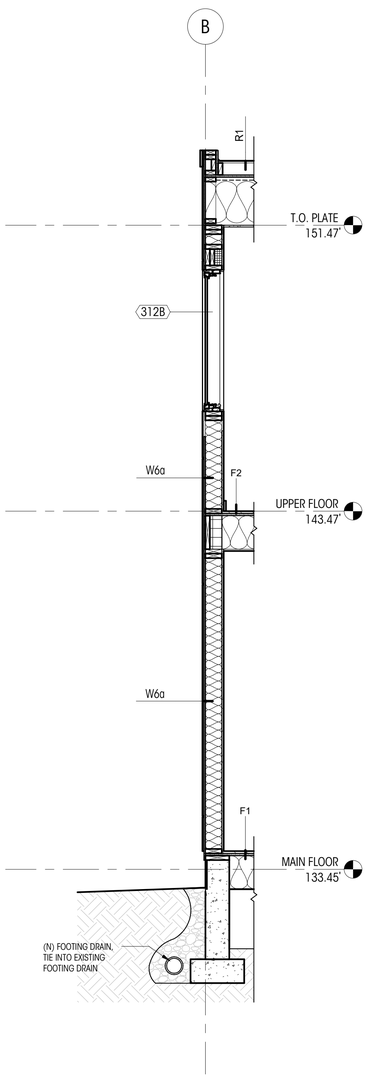
1 WALL SECTION A
1/2" = 1'-0"



2 WALL SECTION B
1/2" = 1'-0"



3 WALL SECTION C
1/2" = 1'-0" REFERENCE: 1 / A402



4 WALL SECTION D
1/2" = 1'-0"

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REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: AJS
CHECKED BY: KM

WALL SECTIONS

SCALE: 1/2" = 1'-0"

A411

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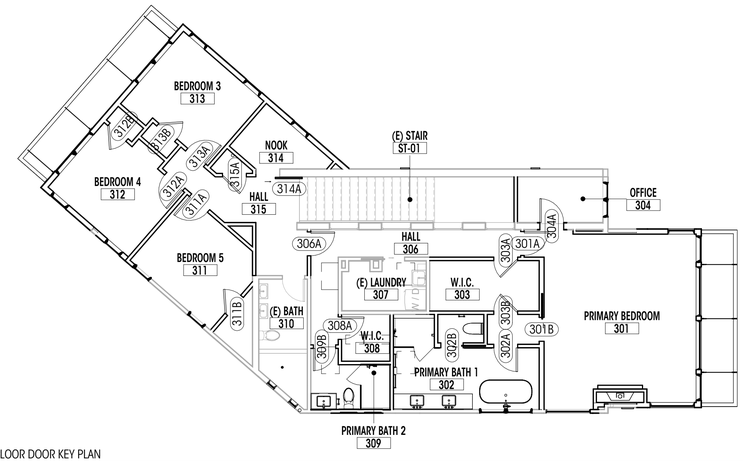
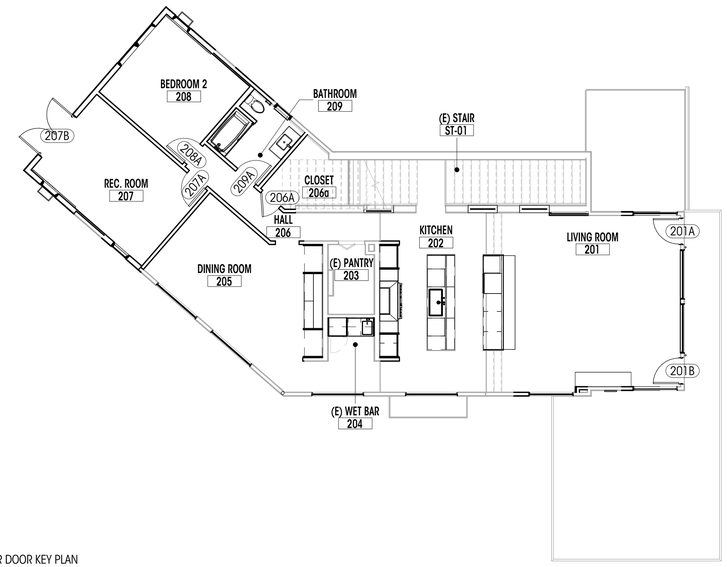


UPPER FLOOR DOOR KEY PLAN

1/8" = 1'-0"



MAIN FLOOR DOOR KEY PLAN

1/8" = 1'-0"

DOOR SCHEDULE

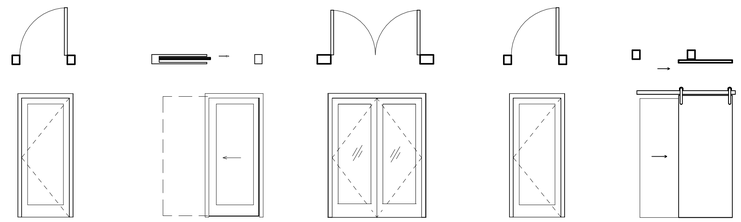
PLAN ID	ROOM NAME	TYPE	WIDTH (ft.)	HEIGHT (ft.)	AREA (sf.)	U VALUE	UA	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	EGRESS	CLOSER	RATED	NOTES
201A	LIVING ROOM	D	3' - 0"	10' - 2 1/2"	30.63 SF	0.3	9.19 SF	1/A732	6/A732	11/A732				1, 3
201B	LIVING ROOM	D	3' - 0"	10' - 2 1/2"	30.63 SF	0.3	9.19 SF	1/A732	6/A732	11/A732				1, 3
206A	HALL	A	2' - 8"	6' - 8"	17.78 SF									
207A	REC. ROOM	A	2' - 8"	6' - 8"	17.78 SF									
207B	REC. ROOM	C	5' - 11 1/4"	7' - 2 1/2"	42.80 SF	0.3	12.84 SF	2/A723	7/A732	12/A732				1, 2
208A	BEDROOM 2	A	2' - 8"	6' - 8"	17.78 SF									
209A	BATHROOM	A	2' - 8"	6' - 8"	17.78 SF									
301A	PRIMARY BEDROOM	A	2' - 8"	6' - 8"	17.78 SF									
301B	PRIMARY BEDROOM	B	2' - 8"	6' - 8"	17.78 SF									
302A	PRIMARY BATH 1	A	2' - 8"	6' - 8"	17.78 SF									
302B	PRIMARY BATH 1	B	2' - 6"	6' - 8"	16.67 SF									
303A	W.I.C.	A	2' - 8"	6' - 8"	17.78 SF									
303B	W.I.C.	A	2' - 8"	6' - 8"	17.78 SF									
304A	OFFICE	A	2' - 8"	6' - 8"	17.78 SF									
306A	HALL	A	2' - 8"	6' - 8"	17.78 SF									
308A	W.I.C.	A	2' - 6"	6' - 8"	16.67 SF									
309B	PRIMARY BATH 2	A	2' - 6"	6' - 8"	16.67 SF									
311A	BEDROOM 5	A	2' - 8"	6' - 8"	17.78 SF									
311B	BEDROOM 5	A	2' - 8"	6' - 8"	17.78 SF									
312A	BEDROOM 4	A	2' - 8"	6' - 8"	17.78 SF									
312B	BEDROOM 4	A	2' - 8"	6' - 8"	17.78 SF									
313A	BEDROOM 3	A	2' - 8"	6' - 8"	17.78 SF									
313B	BEDROOM 3	A	2' - 8"	6' - 8"	17.78 SF									
314A	HALL	E	2' - 8"	6' - 8"	17.78 SF									
315A	HALL	A	2' - 8"	6' - 8"	17.78 SF									

GENERAL NOTES

- ALL NEW DOORS TO BE NFRC CERTIFIED
- ALL NEW VERTICAL FENESTRATION U-VALUE TO MEET ENERGY COMPLIANCE, SEE SHEET G001
- ALL DOORS TO BE SOLID-CORE WOOD VENEER SINGLE PANEL UNO
- ALL GLAZED DOORS TO RECEIVE TEMPERED / SAFETY GLAZING

SPECIFIC NOTES

1. WEATHERSHEILD CONTEMPORARY COLLECTION CUSTOM SIZE
2. DOOR HEAD HEIGHT TO MATCH EXISTING DINING ROOM WINDOW HEIGHT
3. CONTRACTOR TO CONFIRM SIZE, EXISITNG OPENING



ARCH - DOOR TYPES

1/4" = 1'-0"

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66 Bell Street
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Seattle, WA
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206.239.0850
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8843 REGISTERED ARCHITECT STATE OF WASHINGTON

ACKLEY RESIDENCE

9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

NO. DESCRIPTION DATE

DRAWN BY: AJS
CHECKED BY: KM

DOOR SCHEDULE, LEGEND, & NOTES

SCALE: As indicated

A611

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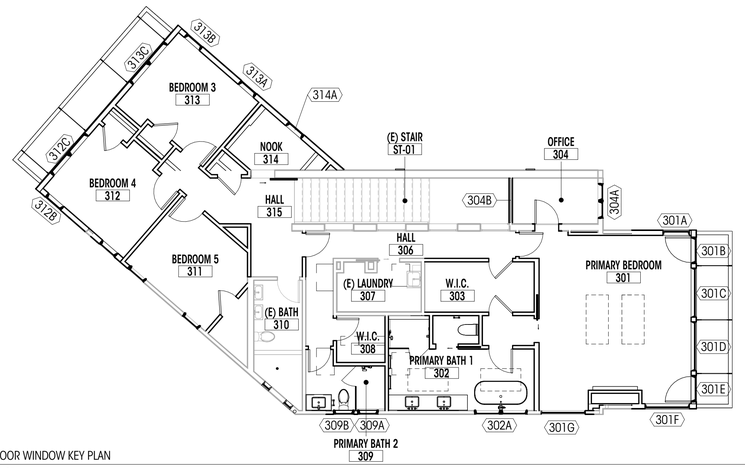
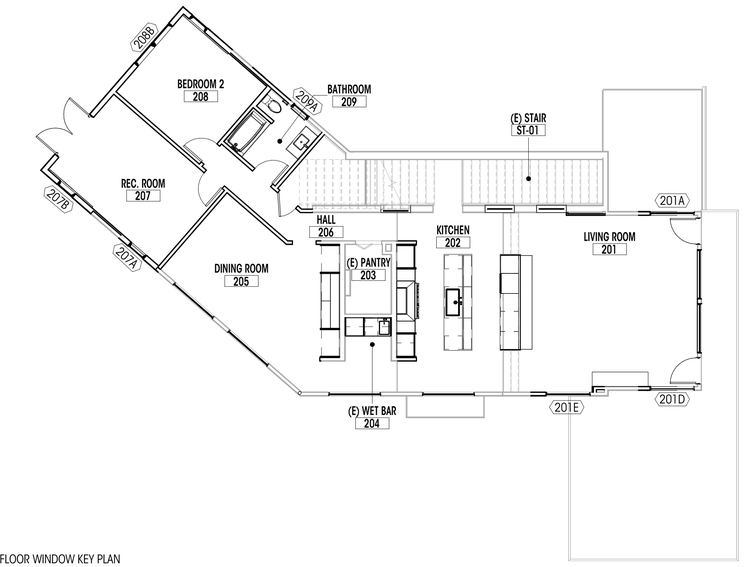


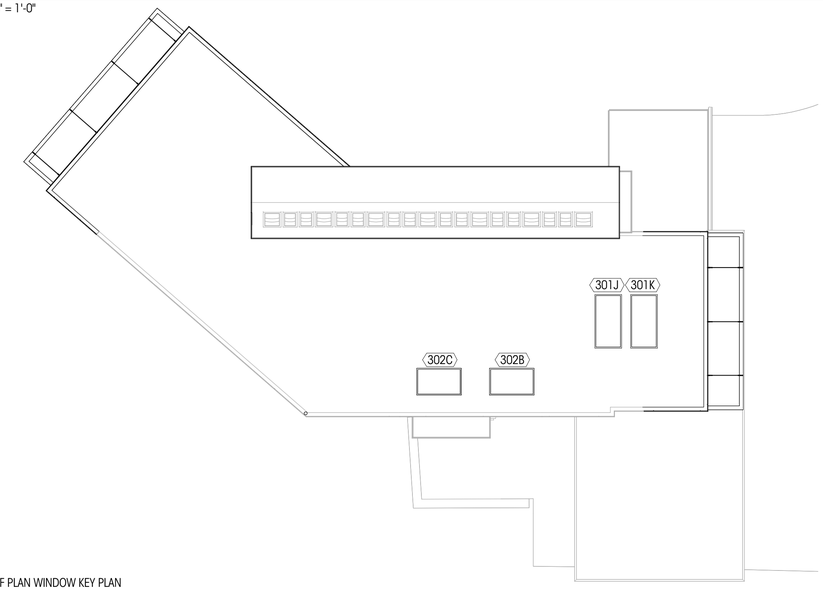
UPPER FLOOR WINDOW KEY PLAN

1/8" = 1'-0"



MAIN FLOOR WINDOW KEY PLAN

1/8" = 1'-0"



ROOF PLAN WINDOW KEY PLAN

1/8" = 1'-0"

WINDOW SCHEDULE

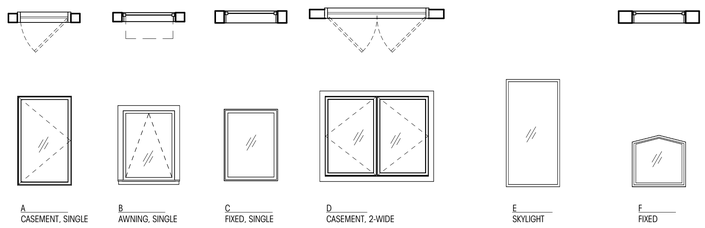
PLAN ID	ROOM NAME	TYPE	WIDTH (ft)	HEIGHT (ft)	HEAD HT	UNIT AREA (sf)	U VALUE	UA	HEAD DETAIL	JAMB DETAIL	SILL DETAIL	SAFETY GLAZING	EGRESS	NOTES
201A	LIVING ROOM	C	4' - 11 1/2"	6' - 10"	8' - 8 1/2"	33.88 SF	0.3	10.16 SF	6/A732	10/A731	15/A731	●		2
201B	LIVING ROOM	C	5' - 6"	8' - 6"	8' - 8 1/2"	46.75 SF	0.3	14.03 SF	5/A731	10/A731	15/A731	●		3
201C	LIVING ROOM	C	5' - 6"	8' - 6"	8' - 8 1/2"	46.75 SF	0.3	14.03 SF	5/A731	10/A731	15/A731	●		3
201D	LIVING ROOM	C	4' - 11 1/2"	6' - 10"	8' - 8 1/2"	33.88 SF	0.3	10.16 SF	6/732	10/A731	15/A731	●		2
201E	LIVING ROOM	C	4' - 11 1/2"	6' - 10"	8' - 8 1/2"	33.88 SF	0.3	10.16 SF	5/A731	10/A731	15/A731			2
202A	KITCHEN	C	5' - 10"	5' - 10"	7' - 8 1/2"	34.03 SF	0.3	10.21 SF	5/A731	10/A731	15/A731			3
204A	(E) WET BAR	C	5' - 10"	5' - 10"	7' - 8 1/2"	34.03 SF	0.3	10.21 SF	5/A731	10/A731	15/A731	●		3
205A	DINING ROOM	C	5' - 10"	5' - 10"	7' - 8 1/2"	34.03 SF	0.3	10.21 SF	5/A731	10/A731	15/A731	●		3
205B	DINING ROOM	C	5' - 10"	5' - 10"	7' - 8 1/2"	34.03 SF	0.3	10.21 SF	5/A731	10/A731	15/A731	●		3
207A	REC. ROOM	A	2' - 3 1/2"	5' - 11 1/2"	7' - 8 1/2"	13.65 SF	0.3	4.10 SF	2/A731	7/A731	12/A731	●		1
207B	REC. ROOM	A	2' - 3 1/2"	5' - 11 1/2"	7' - 8 1/2"	13.65 SF	0.3	4.10 SF	2/A731	7/A731	12/A731	●		1
208A	BEDROOM 2	A	2' - 3 1/2"	4' - 5 1/2"	7' - 8 1/2"	10.22 SF	0.3	3.07 SF	2/A731	7/A731	12/A731			1
208B	BEDROOM 2	D	5' - 11 1/16"	4' - 5 1/2"	7' - 8 1/2"	26.40 SF	0.3	7.92 SF	2/A731	7/A731	12/A731		●	1
209A	BATHROOM	A	2' - 3 1/2"	3' - 5 1/2"	7' - 8 1/2"	7.93 SF	0.3	2.38 SF	2/A731	7/A731	12/A731			1
301A	PRIMARY BEDROOM	C	2' - 11 1/2"	4' - 11 1/2"	6' - 9"	14.67 SF	0.3	4.40 SF	5/A731	10/A731	15/A731			1
301B	PRIMARY BEDROOM	A	2' - 11 1/2"	4' - 11 1/2"	6' - 9"	14.67 SF	0.3	4.40 SF	2/A731	7/A731	12/A731			1
301C	PRIMARY BEDROOM	C	5' - 6"	4' - 11 1/2"	6' - 9"	27.27 SF	0.3	8.18 SF	5/A731	10/A731	15/A731			2
301D	PRIMARY BEDROOM	C	5' - 6"	4' - 11 1/2"	6' - 9"	27.27 SF	0.3	8.18 SF	5/A731	10/A731	15/A731			2
301E	PRIMARY BEDROOM	A	2' - 11 1/2"	4' - 11 1/2"	6' - 9"	14.67 SF	0.3	4.40 SF	2/A731	7/A731	12/A731		●	1
301F	PRIMARY BEDROOM	C	4' - 11 1/2"	4' - 11 1/2"	6' - 9"	24.59 SF	0.3	7.38 SF	5/A731	10/A731	15/A731			1
301G	PRIMARY BEDROOM	C	4' - 11 1/2"	4' - 11 1/2"	6' - 9"	24.59 SF	0.3	7.38 SF	5/A731	10/A731	15/A731			1
301J	PRIMARY BEDROOM	E	3' - 0"	6' - 0"		18.00 SF	0.5	9.00 SF						
301K	PRIMARY BEDROOM	E	3' - 0"	6' - 0"		18.00 SF	0.5	9.00 SF						
302A	PRIMARY BATH 1	D	5' - 11 1/16"	4' - 5 1/2"	6' - 9"	26.40 SF	0.3	7.92 SF	2/A731	7/A731	12/A731			1
302B	PRIMARY BATH 1	E	3' - 0"	5' - 0"		15.00 SF	0.5	7.50 SF						
302C	PRIMARY BATH 1	E	3' - 0"	5' - 0"		15.00 SF	0.5	7.50 SF						
304A	OFFICE	D	3' - 11 1/16"	3' - 11 1/2"	6' - 9"	15.52 SF	0.3	4.66 SF	2/A731	7/A731	12/A731			1
304B	OFFICE	F	5' - 1 1/4"	2' - 9"	11' - 6 3/4"	14.04 SF	0	0.00 SF	1/A731	1/A731	11/A731			4
309A	PRIMARY BATH 2	B	2' - 3 1/2"	1' - 11 1/2"	6' - 9"	4.49 SF	0.3	1.35 SF	4/A731	9/A731	14/A731			1
309B	PRIMARY BATH 2	B	2' - 3 1/2"	1' - 11 1/2"	6' - 9"	4.49 SF	0.3	1.35 SF	4/A731	9/A731	14/A731			1
310A	(E) BATH	C	1' - 0"	3' - 4"	6' - 9"	3.33 SF	0.3	1.00 SF	5/A731	10/A731	15/A731			3
310B	(E) BATH	C	1' - 0"	3' - 4"	6' - 9"	3.33 SF	0.3	1.00 SF	5/A731	10/A731	15/A731			3
311A	BEDROOM 5	A	2' - 3 1/2"	3' - 11 1/2"	6' - 9"	9.07 SF	0.3	2.72 SF	2/A731	7/A731	12/A731			1
311B	BEDROOM 5	A	2' - 3 1/2"	3' - 11 1/2"	6' - 9"	9.07 SF	0.3	2.72 SF	2/A731	7/A731	12/A731		●	1
312A	BEDROOM 4	A	2' - 3 1/2"	3' - 11 1/2"	6' - 9"	9.07 SF	0.3	2.72 SF	2/A731	7/A731	12/A731			1
312B	BEDROOM 4	A	2' - 3 1/2"	3' - 11 1/2"	6' - 9"	9.07 SF	0.3	2.72 SF	2/A731	7/A731	12/A731		●	1
312C	BEDROOM 4	D	5' - 11 1/16"	4' - 5 1/2"	6' - 9"	26.40 SF	0.3	7.92 SF	2/A731	7/A731	12/A731			1
313A	BEDROOM 3	A	2' - 3 1/2"	3' - 11 1/2"	6' - 9"	9.07 SF	0.3	2.72 SF	2/A731	7/A731	12/A731			1
313B	BEDROOM 3	A	2' - 3 1/2"	3' - 11 1/2"	6' - 9"	9.07 SF	0.3	2.72 SF	2/A731	7/A731	12/A731		●	1
313C	BEDROOM 3	D	5' - 11 1/16"	4' - 5 1/2"	6' - 9"	26.40 SF	0.3	7.92 SF	2/A731	7/A731	12/A731			1
314A	NOOK	A	2' - 3 1/2"	3' - 11 1/2"	6' - 9"	9.07 SF	0.3	2.72 SF	2/A731	7/A731	12/A731			1

GENERAL NOTES

- ALL DIMENSIONS SHOWN ARE FINISHED DIMENSIONS. R.O. PER CONTRACTOR
- CONTRACTOR TO VERIFY ALL SIZES AND DIMENSIONS IN FIELD WITH OWNER BEFORE ORDERING
- ALL NEW WINDOWS TO BE NFRC CERTIFIED
- REFER TO PLANS AND ELEVATIONS FOR TAGS, LOCATION AND OPERATION
- ALL ELEVATIONS ARE FROM THE EXTERIOR
- ALL NEW VERTICAL FENESTRATION U-VALUE TO MEET ENERGY COMPLIANCE, SEE SHEET G001
- PER IRC R310.2 ALL **EGRESS** OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SF, NET CLEAR HEIGHT OPENING SHALL NOT BE LESS THAN 24" AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20". THE WINDOW SILL SHALL HAVE HEIGHT OF NOT MORE THAN 44" ABOVE THE FLOOR
- PER IRC R308.4.3, GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL NEEDS TO BE TEMPERED GLASS / SAFETY GLAZING IN THE FOLLOWING HAZARDOUS LOCATIONS:
  1. THE EXPOSED AREA OF AN INDIVIDUAL PANE IS LARGER THAN 9 SF,
  2. THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18" ABOVE THE FLOOR,
  3. THE TOP EDGE OF THE GLAZING IS MORE THAN 36 " AVOVE THE FLOOR, AND
  4. ONE OR MORE WALKING SURFACES ARE WITHIN 36", MEASURE HORIZONTALLY IN A STRAIGHT LINE OF THE GLAZING.
- WINDOW BASIS OF DESIGN - WEATHERSHIELD CONTEMPORARY COLLECTION
- SKYLIGHT BASIS OF DESIGN - CRYSTALITE

SPECIFIC NOTES

1. WEATHERSHEILD CONTEMPORARY COLLECTION STANDARD SIZE
2. WEATHERSHEILD CONTEMPORARY COLLECTION CUSTOM SIZE
3. CONTRACTOR TO CONFIRM SIZE, EXISTING OPENING
4. INTERIOR STOPPED IN GLAZING, CONTRACTOR TO CONFIRM SIZE



ARCH - WINDOW TYPES

1/4" = 1'-0"

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REGISTERED ARCHITECT
STATE OF WASHINGTON

ACKLEY RESIDENCE

9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25

SHEET SIZE: D (24X36)

REVISIONS

NO. DESCRIPTION DATE

DRAWN BY: AJS
CHECKED BY: KM

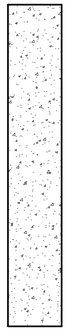
WINDOW SCHEDULE, LEGEND, & NOTES

SCALE: As indicated

A612

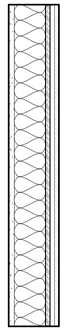
9/26/2025 1:56:22 PM

VERTICAL ASSEMBLIES



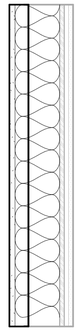
(N) 6" CONCRETE PER STRUCTURAL
BELOW GRADE WATERPROOFING PER CONTRACTOR

C6



(N) GWB TO MATCH (E)
(N) FRAMING TO MATCH (E) ADJACENT WALLS
(N) INSULATION TO MATCH (E)
(N) PLYWOOD SHEATHING, THICKNESS TO MATCH (E)
(N) WRB, PER CONTRACTOR
(N) SIDING TO MATCH (E)

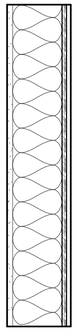
W4a (EXISTING INFILL WALL)



(N) GWB TO MATCH (E)
(N) FURRING (TO ALIGN W/ ADJACENT NEW 2X6 FRAMING)
(N) R-21 MIN INSULATION
(E) 2X4 FRAMING. V.I.F.
(E) PLYWOOD SHEATHING
(E) WRB
(E) SIDING

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT
2. PER WSEC R402.1.2 PROPOSED ASSEMBLY U-VALUE OF 0.054 EXCEEDS CODE REQUIRED WALL U-FACTOR OF 0.056.

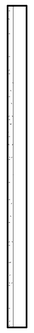
W4b



(N) 5/8" GWB
(N) 2X6 FRAMING
(N) R-21 MIN INSULATION
(N) PLYWOOD SHEATHING, THICKNESS TO MATCH (E)
(N) WRB, PER CONTRACTOR
(N) SIDING TO MATCH (E)

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT
2. PER WSEC R402.1.2 AND PROPOSED ASSEMBLY U-VALUE OF 0.054 EXCEEDS CODE REQUIRED WALL U-FACTOR OF 0.056.

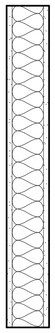
W6a



(N) 5/8" GWB
(N) FURRING TO ALIGN W/ ADJACENT FRAMING

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT

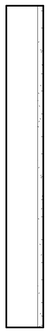
P2b



(N) 5/8" GWB
(N) 2X4 FRAMING
(N) SOUND BATT INSULATION
(N) 5/8" GWB

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT

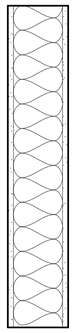
P4a



(N) 2X4 FRAMING
(N) 5/8" GWB

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT

P4b

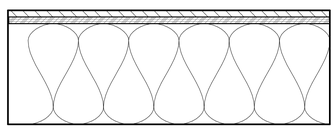


(N) 5/8" GWB
(N) 2X6 FRAMING
(N) SOUND BATT INSULATION
(N) 5/8" GWB

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT

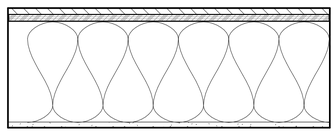
P6a

HORIZONTAL ASSEMBLIES



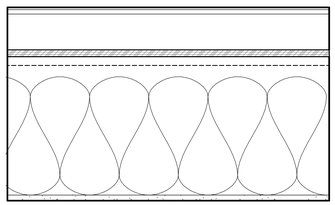
(N) FLOOR FINISH
(N) SUBFLOOR PER STRUCTURAL (MATCH EXISITNG)
(N) FRAMING PER STRUCTURAL
(N) R-30 MIN. INSULATION

F1



(N) FLOOR FINISH
(N) SUBFLOOR PER STRUCTURAL (MATCH EXISITNG)
(N) FRAMING PER STRUCTURAL
(N) SOUND BATT INSULATION
(N) 5/8" GWB

F2



(N) ROOF MEMBRANE (ASSUME EVERGAURD EXTREME TPO FROM GAF MIL OR GREATER)
(N) COVER BOARD PER MEMBRANE MFR
(N) TAPERED OVER FRAMING TO MATCH EXISTING
(N) PLYWOOD PER STRUCTURAL TO MATCH (E)
(N) 1" MIN AIR GAP FOR VENTING
(N) R-49 MIN BATT INSULATION
(N) FRAMING PER STRUCTUAL
(N) 5/8" GWB

NOTES:
1. AT BATHROOM AND WET LOCATIONS, USE 5/8" WATER RESISTANT GWB OR GLASS-MAT

R1

Brandt
Design Group
66 Bell Street
Unit 1
Seattle, WA
98121
206.239.0850
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8843
REGISTERED ARCHITECT
STATE OF WASHINGTON

ACKLEY RESIDENCE

9603 SE 61ST PLACE
MERCER ISLAND, WA 98040

PERMIT SET

DATE: 06.30.25
SHEET SIZE: D (24X36)

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY: AJS
CHECKED BY: KM

ASSEMBLY DETAILS

SCALE: 1 1/2" = 1'-0"

A701

9/26/2025 12:24:00 PM

General Structural Notes

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

CRITERIA

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE INTERNATIONAL BUILDING CODE (2021 EDITION).

2. DESIGN LOADING CRITERIA:
   FLOOR LIVE LOAD . . . . . 40 PSF
   SNOW . . . . . Ce=1.0, Is=1.0, Ct=1.1, Cs=1.0, Pg=25 PSF, Pf=25 PSF, Ps=25 PSF
   WIND . . . . . GCpi=0.18, 100 MPH, EXPOSURE "C"
   EARTHQUAKE:
   ANALYSIS PROCEDURE: EQUIVALENT LATERAL FORCE PROCEDURE
   LATERAL SYSTEM: LIGHT FRAMED SHEAR WALLS
   SITE CLASS=D (DEFAULT), Ss=1.45, Sds=1.16, S1=0.50,
   Sd1=0.85, Cs=0.178, SDC D, Ie=1.0, R=6.5

3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. ARCHITECTURAL DRAWINGS ARE THE PRIME CONTRACT DRAWINGS. ANY DISCREPANCIES FOUND AMONG THE DRAWINGS, THE SPECIFICATION, THESE GENERAL NOTES AND THE SITE CONDITIONS SHALL BE REPORTED TO THE ARCHITECT, WHO SHALL CORRECT SUCH DISCREPANCY IN WRITING. ANY WORK DONE BY THE GENERAL CONTRACTOR AFTER DISCOVERY OF SUCH DISCREPANCY SHALL BE DONE AT THE GENERAL CONTRACTOR'S RISK.

4. PRIMARY STRUCTURAL ELEMENTS NOT DIMENSIONED ON THE STRUCTURAL PLANS AND DETAILS SHALL BE LOCATED BY THE ARCHITECTURAL PLANS AND DETAILS. VERTICAL DIMENSION CONTROL IS DEFINED BY THE ARCHITECTURAL WALL SECTIONS, BUILDING SECTION, AND PLANS. DETAILING AND SHOP DRAWING PRODUCTION FOR STRUCTURAL ELEMENTS WILL REQUIRE DIMENSIONAL INFORMATION CONTAINED IN BOTH ARCHITECTURAL AND STRUCTURAL DRAWINGS.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE CONTRACTORS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES TO THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.

6. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS. CONFORM TO ASCE 37-14 "DESIGN LOADS ON STRUCTURES DURING CONSTRUCTION".

7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.

8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER. ALL TYPICAL NOTES AND DETAILS SHOWN ON DRAWINGS SHALL APPLY, UNLESS NOTED OTHERWISE. TYPICAL DETAILS MAY NOT NECESSARILY BE INDICATED ON THE PLANS BUT SHALL STILL APPLY AS SHOWN OR DESCRIBED IN THE DETAILS. WHERE TYPICAL DETAILS ARE NOTED ON THE PLANS, THE SPECIFIED TYPICAL DETAIL SHALL BE USED. WHERE NO TYPICAL DETAIL IS NOTED, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CHOOSE THE APPROPRIATE TYPICAL DETAIL FROM THOSE PROVIDED OR REQUEST ADDITIONAL INFORMATION. THE CONTRACTOR SHALL SUBMIT ALL PROPOSED ALTERNATE TYPICAL DETAILS TO THOSE PROVIDED WITH RELATED CALCULATIONS TO THE ENGINEER FOR APPROVAL PRIOR TO SHOP DRAWING PRODUCTION AND FIELD USE.

9. ALL STRUCTURAL SYSTEMS, WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED, SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

10. SHOP DRAWINGS FOR THE FOLLOWING ITEMS SHALL BE SUBMITTED TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION OF THESE ITEMS.

    CONNECTOR PLATE WOOD ROOF TRUSSES
    STRUCTURAL STEEL

11. SHOP DRAWING REVIEW: DIMENSIONS AND QUANTITIES ARE NOT REVIEWED BY THE ENGINEER OF RECORD, THEREFORE MUST BE VERIFIED BY THE CONTRACTOR. CONTRACTOR SHALL REVIEW AND STAMP DRAWINGS PRIOR TO REVIEW BY ENGINEER OF RECORD. CONTRACTOR SHALL REVIEW DRAWINGS FOR CONFORMANCE WITH THE MEANS, METHODS, TECHNIQUES, SEQUENCES AND OPERATIONS OF CONSTRUCTION, AND ALL SAFETY PRECAUTIONS AND PROGRAMS INCIDENTAL THERETO. SUBMITTALS SHALL INCLUDE A REPRODUCIBLE AND ONE COPY; REPRODUCIBLE WILL BE MARKED AND RETURNED WITHIN TWO WEEKS OF RECEIPT WITH A NOTATION INDICATING THAT THE SUBMITTAL HAS BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE SUBMITTED ITEMS SHALL NOT BE INSTALLED UNTIL THEY HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.

    SHOP DRAWING SUBMITTALS PROCESSED BY THE ENGINEER ARE NOT CHANGE ORDERS. THE PURPOSE OF SHOP DRAWING SUBMITTALS BY THE CONTRACTOR IS TO DEMONSTRATE TO THE ENGINEER THAT THE CONTRACTOR UNDERSTANDS THE DESIGN CONCEPT, BY INDICATING WHICH MATERIAL IS INTENDED TO BE FURNISHED AND INSTALLED AND BY DETAILING THE INTENDED FABRICATION AND INSTALLATION METHODS. IF DEVIATIONS, DISCREPANCIES, OR CONFLICTS BETWEEN SHOP DRAWING SUBMITTALS AND THE CONTRACT DOCUMENTS ARE DISCOVERED EITHER PRIOR TO OR AFTER SHOP DRAWING SUBMITTALS ARE PROCESSED BY THE ENGINEER, THE DESIGN DRAWINGS AND SPECIFICATIONS SHALL CONTROL AND SHALL BE FOLLOWED.

QUALITY ASSURANCE

12. SPECIAL INSPECTION SHALL BE PROVIDED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND SECTIONS 110 AND 1705 OF THE INTERNATIONAL BUILDING CODE BY A QUALIFIED TESTING AGENCY DESIGNATED BY THE ARCHITECT, AND RETAINED BY THE BUILDING OWNER. THE ARCHITECT, STRUCTURAL ENGINEER, AND BUILDING DEPARTMENT SHALL BE FURNISHED WITH COPIES OF ALL INSPECTION AND TEST RESULTS. SPECIAL INSPECTION OF THE FOLLOWING TYPES OF CONSTRUCTION IS REQUIRED UNLESS NOTED OTHERWISE.

STRUCTURAL STEEL FABRICATION AND ERECTION	PER AISC 360
EXPANSION BOLTS AND THREADED EXPANSION INSERTS	PER MANUFACTURER
EPOXY GROUTED INSTALLATIONS	PER MANUFACTURER

    PERIODIC INSPECTION: INSPECTION SHALL BE PERFORMED AT INTERVALS NECESSARY TO CONFIRM THAT WORK REQUIRING SPECIAL INSPECTION IS IN COMPLIANCE WITH REQUIREMENTS.

    CONTINUOUS INSPECTION: INSPECTOR SHALL BE ONSITE AND OBSERVE THE WORK REQUIRING INSPECTION AT ALL TIMES THAT WORK IS PERFORMED.

13. UNLESS OTHERWISE NOTED, THE FOLLOWING ELEMENTS COMPRISE THE SEISMIC-FORCE-RESISTING SYSTEM AND ARE SUBJECT TO SPECIAL INSPECTION FOR SEISMIC RESISTANCE IN ACCORDANCE WITH SECTION 1705.13 OF THE INTERNATIONAL BUILDING CODE.

    A. STRUCTURAL STEEL MOMENT FRAMES AND BRACED FRAMES REQUIRE CONTINUOUS INSPECTION FOR WELDING PER AISC 341 EXCEPT SINGLE PASS FILLET WELDS NOT EXCEEDING 5/16-INCH.

    B. STRUCTURAL WOOD SHEAR WALL SYSTEMS REQUIRE PERIODIC INSPECTION FOR FIELD GLUING, NAILING, BOLTING, ANCHORING AND OTHER FASTENING OF COMPONENTS WITHIN THE SEISMIC FORCE, RESISTING SYSTEM INCLUDING SHEAR WALLS, DIAPHRAGMS, DRAG STRUTS, BRACES AND HOLDOWNS.

GEOTECHNICAL

14. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH OR COMPACTED STRUCTURAL FILL AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.

    ALLOWABLE SOIL PRESSURE . . . . . 2500 PSF
    ALLOWABLE PASSIVE EARTH PRESSURE (ULTIMATE) . . . . . 300 PCF
    COEFFICIENT OF FRICTION (ULTIMATE) 0.4

    SOILS REPORT REFERENCE:
    GEOTECHNICAL AND CRITICAL AREA STUDY
    PROPOSED ADDITIONS TO EXISTING RESIDENCE
    9603 S.E. 61ST PLACE
    MERCER ISLAND, WASHINGTON

    PREPARED BY: GEOTECH CONSULTANTS, INC. ON MARCH 11,2025 JN 25040

RENOVATION

15. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED IN A MANNER SUITABLE TO THE WORK SEQUENCES. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.

16. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT AND STRUCTURAL ENGINEER IF EXISTING CONDITIONS DETERMINED DURING WORK VARY FROM THE EXISTING CONSTRUCTION SHOWN ON THE DRAWINGS.

17. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED.

    A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE. CORNERS SHALL NOT BE OVERCUT.
    B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
    C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING.
    D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, DRILL AND EPOXY DOWELS MATCHING THE NEW REINFORCING INTO THE EXISTING CONCRETE WITH 6" EMBED, UNLESS OTHERWISE NOTED ON PLANS.

18. CONTRACTOR SHALL CHECK FOR DRY ROT AT ALL AREAS OF NEW WORK. ALL ROT SHALL BE REMOVED AND DAMAGED MEMBERS SHALL BE REPLACED OR REPAIRED AS DIRECTED BY THE STRUCTURAL ENGINEER OR ARCHITECT.

CONCRETE

19. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED AND PLACED IN ACCORDANCE WITH ACI 301, INCLUDING TESTING PROCEDURES. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF f'c = 3,000 PSI AND MIX SHALL CONTAIN NOT LESS THAN 5-1/2 SACKS OF CEMENT PER CUBIC YARD AND SHALL BE PROPORTIONED TO PRODUCE A SLUMP OF 5" OR LESS. REQUIRED CONCRETE STRENGTH IS BASED ON THE DURABILITY REQUIREMENTS OF SECTION 1904 OF THE IBC. DESIGN STRENGTH IS f'c = 2,500 PSI.

20. ALL CONCRETE WITH SURFACES EXPOSED TO WEATHER OR STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494, AND C618. TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318-19, TABLE 19.3.2.1 MODERATE EXPOSURE, F1.

21. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENT S1), GRADE 60, FY = 60,000 PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, FY = 40,000 PSI. WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185. SPIRAL REINFORCEMENT SHALL BE DEFORMED WIRE CONFORMING TO ASTM A615, GRADE 60, FY = 60,000 PSI.

22. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI 315R-18 AND 318-19. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP CORNER BARS #5 AND SMALLER 40 BAR DIAMETERS OR 2'-0" MINIMUM. LAPS OF LARGER BARS SHALL BE MADE IN ACCORDANCE WITH ACI 318-19, CLASS B. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.

    NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER.

23. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:

    FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH . . . . . 3"
    FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#6 BARS OR LARGER) . . . . . 2"
    FORMED SURFACES EXPOSED TO EARTH OR WEATHER (#5 BARS OR SMALLER) . . . . 1-1/2"
    COLUMN TIES OR SPIRALS AND BEAM STIRRUPS . . . . . 1-1/2"
    SLABS AND WALLS (INT. FACE) . . . . . GREATER OF BAR DIAMETER PLUS 1/8" OR 3/4"

24. CONCRETE WALL REINFORCING--PROVIDE THE FOLLOWING UNLESS DETAILED OTHERWISE:

6" WALLS	#4 @ 16 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
8" WALLS	#4 @ 12 HORIZ.	#4 @ 18 VERTICAL	1 CURTAIN
10" WALLS	#4 @ 18 HORIZ.	#4 @ 18 VERTICAL	2 CURTAINS
12" WALLS	#4 @ 16 HORIZ.	#4 @ 18 VERTICAL	2 CURTAINS

25. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE MECHANICAL DRAWINGS FOR SIZE AND LOCATION OF MISCELLANEOUS MECHANICAL OPENINGS THROUGH CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES, BOTH CAST-IN-PLACE AND PRECAST.

ANCHORAGE

26. EXPANSION BOLTS INTO CONCRETE SHALL BE "STRONG-BOLT 2" WEDGE ANCHORS AS MANUFACTURED BY THE SIMPSON STRONG TIE COMPANY AND INSTALLED IN STRICT CONFORMANCE TO ICC-ES REPORT NUMBER ESR-3037 FOR CONCRETE AND IAPMO ER-240 FO MASONRY, INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. BOLTS INTO CONCRETE MASONRY OR BRICK MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. PERIODIC SPECIAL INSPECTION IS REQUIRED TO VERIFY ANCHOR TYPE, ANCHOR DIMENSIONS, ANCHOR LOCATION, TIGHTENING TORQUE, HOLE DIMENSIONS, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS.

27. EPOXY-GROUTED ITEMS (THREADED RODS OR REINFORCING BAR) INTO CONCRETE SPECIFIED ON THE DRAWINGS SHALL BE INSTALLED USING "SET-3G" HIGH STRENGTH EPOXY AS MANUFACTURED BY THE SIMPSON STRONG, TIE COMPANY. INSTALL IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-4057. MINIMUM BASE MATERIAL TEMPERATURE IS 40 DEGREES, F. RODS SHALL BE ASTM A-36 UNLESS OTHERWISE NOTED. PERIODIC SPECIAL INSPECTION OF INSTALLATION IS REQUIRED TO VERIFY ANCHOR OR EMBEDDED BAR TYPE AND DIMENSIONS, LOCATION, ADHESIVE IDENTIFICATION AND EXPIRATION, HOLE DIMENSIONS, HOLE CLEANING PROCEDURE, ANCHOR EMBEDMENT, AND ADHERENCE TO THE INSTALLATION INSTRUCTIONS. CONTINUOUS SPECIAL INSPECTION IS REQUIRED FOR HORIZONTAL AND OVERHEAD INSTALLATIONS.

28. CONCRETE SCREW ANCHORS INTO CONCRETE AND CONCRETE MASONRY UNITS SHALL BE "TITEN HD" SCREW ANCHOR AS MANUFACTURED BY THE SIMPSON STRONG-TIE COMPANY, INSTALLED IN STRICT ACCORDANCE WITH ICC-ES REPORT NO. ESR-2713 (CONCRETE), NO. ESR-1056 (CMU), INCLUDING MINIMUM EMBEDMENT REQUIREMENTS. SCREW ANCHORS INTO CONCRETE MASONRY UNITS SHALL BE INTO FULLY GROUTED CELLS. SPECIAL INSPECTION IS REQUIRED.

STEEL

29. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON:

    A. AISC 360-16 AND SECTION 2205 OF THE INTERNATIONAL BUILDING CODE.
    B. JUNE 15, 2016 AISC CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES (AISC 303-16) AMENDED AS FOLLOWS: AS NOTED IN THE CONTRACT DOCUMENTS, BY THE DELETION OF PARAGRAPH 4.4.1, AND REVISE REFERENCE FROM "STRUCTURAL DESIGN DRAWINGS" TO "CONTRACT DOCUMENTS" IN PARAGRAPH 3.1.
    C. SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH-STRENGTH BOLTS.

30. WIDE FLANGE SHAPES SHALL CONFORM TO ASTM A992, FY = 50 KSI. OTHER ROLLED SHAPES INCLUDING PLATES, SHALL CONFORM TO ASTM A36, FY = 36 KSI. STEEL PIPE SHALL CONFORM TO ASTM A-53, TYPE E OR S, GRADE B, Fy = 35 KSI. STRUCTURAL TUBING SHALL CONFORM TO ASTM A500, GRADE C, FY = 46 KSI (ROUND), FY = 50 KSI (SQUARE AND RECTANGULAR). CONNECTION BOLTS SHALL CONFORM TO ASTM A307.

31. SHOP PRIME ALL STEEL EXCEPT:

    A. STEEL ENCASED IN CONCRETE.
    B. SURFACES TO BE WELDED.
    C. CONTACT SURFACES AT HIGH-STRENGTH BOLTS.
    D. MEMBERS TO BE GALVANIZED.
    E. MEMBERS WHICH WILL BE CONCEALED BY INTERIOR FINISHES.
    F. SURFACES TO RECEIVE SPRAYED FIREPROOFING.
    G. SURFACES TO RECEIVE OTHER SPECIAL SHOP PRIMERS.

32. ALL ANCHORS EMBEDDED IN CONCRETE SHALL BE A307 HEADED BOLTS OR F1554 GRADE 36 THREADED ROD WITH AN ASTM 563 HEAVY HEX NUT TACK WELDED ON THE EMBEDDED END.

General Structural Notes Continued on Sheet S1.2

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REGISTERED
PROFESSIONAL ENGINEER

DRAWN: SRK
DESIGN: BDM
CHECKED: BDM
APPROVED: BDM

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:
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ARCHITECT:
Brandt Design Group
66 Bell Street, Unit 1
Seattle, WA 98121
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brandtdesigninc.com

ISSUE: PERMIT

SHEET TITLE: General Structural Notes

SCALE: 3/4" = 1'-0" U.N.O.
DATE: May 30, 2025
PROJECT NO: 01519-2025-01

SHEET NO: S1.1

General Structural Notes Cont'd.

THE FOLLOWING APPLY UNLESS SHOWN OTHERWISE ON THE DRAWINGS

WOOD

33. FRAMING LUMBER SHALL BE S-DRY, KD, OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD No. 17, GRADING RULES FOR WEST COAST LUMBER, 2018, OR WWPA STANDARD, WESTERN LUMBER GRADING RULES 2021. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS AND BEAMS	(2X & 3X MEMBERS)	HEM-FIR NO. 2 MINIMUM BASE VALUE, Fb = 850 PSI
	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1000 PSI
BEAMS	(INCL. 6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fb = 1350 PSI
POSTS	(4X MEMBERS)	DOUGLAS FIR-LARCH NO. 2 MINIMUM BASE VALUE, Fc = 1350 PSI
	(6X AND LARGER)	DOUGLAS FIR-LARCH NO. 1 MINIMUM BASE VALUE, Fc = 1000 PSI
STUDS, PLATES & MISC. FRAMING:		DOUGLAS FIR-LARCH NO. 2 OR HEM-FIR NO. 2

34. GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ASTM AND ANSI/AITC STANDARDS. EACH MEMBER SHALL BEAR AN AITC OR APA IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC OR APA CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V4, Fb = 2,400 PSI, Fv = 265 PSI. ALL CANTILEVERED BEAMS SHALL BE DOUGLAS FIR COMBINATION 24F-V8, Fb = 2400 PSI, Fv = 265 PSI.

35. MANUFACTURED LUMBER, PSL, LVL, AND LSL SHOWN ON PLAN ARE BASED PRODUCTS MANUFACTURED BY THE WEYERHAEUSER CORPORATION IN ACCORDANCE WITH ICC-ES REPORT ESR-1387. MEMBERS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

PSL (2.0E WS)	Fb = 2900 PSI, E = 2000 KSI, Fv = 290 PSI
LVL (2.0E-2600FB WS)	Fb = 2600 PSI, E = 2000 KSI, Fv = 285 PSI
LSL (1.55E)	Fb = 2325 PSI, E = 1550 KSI, Fv = 310 PSI

ALTERNATE MANUFACTURED LUMBER MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE MANUFACTURER'S PRODUCTS SHALL BE COMPATIBLE WITH THE JOIST HANGERS AND OTHER HARDWARE SPECIFIED ON PLANS, OR ALTERNATE HANGERS AND HARDWARE SHALL SUBMITTED FOR REVIEW AND APPROVAL. SUBSTITUTED ITEMS SHALL HAVE ICC-ES REPORT APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES.

MANUFACTURED LUMBER PRODUCTS SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%. EXCESSIVE DEFLECTIONS MAY OCCUR IF MOISTURE CONTENT EXCEEDS THIS VALUE.

36. PREFABRICATED OPEN WEB WOOD TRUSSES (OR COMBINATION WOOD AND METAL) SHALL BE DESIGNED BY THE MANUFACTURER FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS AND SHALL BE FURNISHED AND INSTALLED IN CONFORMANCE WITH THE MANUFACTURER'S PUBLISHED SPECIFICATIONS. ALL NECESSARY BRIDGING, BLOCKING, BLOCKING PANELS, STIFFENERS, ETC., SHALL BE DETAILED AND FURNISHED BY THE MANUFACTURER. SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. DESIGN SUBMITTALS SHALL BEAR THE STAMP AND SIGNATURE OF A REGISTERED PROFESSIONAL ENGINEER, STATE OF WASHINGTON. PERMANENT AND TEMPORARY BRIDGING SHALL BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS.

37. PREFABRICATED CONNECTOR PLATE WOOD TRUSSES SHALL BE DESIGNED BY THE MANUFACTURER IN ACCORDANCE WITH THE "NATIONAL DESIGN STANDARD FOR METAL PLATE-CONNECTED WOOD TRUSS CONSTRUCTION, ANSI/TPI-1" BY THE TRUSS PLATE INSTITUTE FOR THE SPANS AND CONDITIONS SHOWN ON THE PLANS. LOADING SHALL BE AS FOLLOWS:

	ROOF	FLOOR
TOP CHORD LIVE LOAD	25 PSF	40 PSF
TOP CHORD DEAD LOAD	10 PSF	7 PSF
BOTTOM CHORD DEAD LOAD	5 PSF	5 PSF
TOTAL LOAD	40 PSF	52 PSF
WIND UPLIFT (TOP CHORD)	5 PSF	
BOTTOM CHORD LIVE LOAD (BOTTOM CHORD LIVE LOAD DOES NOT ACT CONCURRENTLY WITH THE ROOF OR FLOOR LIVE LOAD)	10 PSF	5 PSF

WOOD TRUSSES SHALL UTILIZE APPROVED CONNECTOR PLATES (MITEK OR EQUAL). SUBMIT SHOP DRAWINGS INCLUDING TRUSS PLACEMENT DIAGRAM AND DESIGN CALCULATIONS TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR REVIEW PRIOR TO FABRICATION. SUBMITTED DOCUMENTS SHALL BE SIGNED AND STAMPED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF WASHINGTON. PROVIDE FOR SHAPES, BEARING POINTS, INTERSECTIONS, HIPS, VALLEYS, ETC., SHOWN ON THE DRAWINGS. EXACT COMPOSITION OF SPECIAL HIP, VALLEY, AND INTERSECTION AREAS (USE OF GIRDER TRUSSES, JACK TRUSSES, STEP-DOWN TRUSSES, ETC.) SHALL BE DETERMINED BY THE MANUFACTURER UNLESS SPECIFICALLY INDICATED ON THE PLANS. PROVIDE ALL TRUSS TO TRUSS AND TRUSS TO GIRDER TRUSS CONNECTION DETAILS AND REQUIRED CONNECTION MATERIALS.

TEMPORARY AND PREMANENT RESTRAINT/BRACING SHALL BE IN ACCORDANCE WITH BCSI-B3 AND BCSI-B7.

38. PLYWOOD SHEATHING SHALL BE EXPOSURE 1, PANEL GRADE C-D, AND EITHER SHEATHING, SINGLE-FLOOR, OR STRUCTURAL I GRADE IN CONFORMANCE WITH DOC PS 1 AND PS 2. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.

ROOF SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 32/16.

FLOOR SHEATHING SHALL BE 3/4" (NOMINAL) WITH SPAN RATING 48/24.

WALL SHEATHING SHALL BE 1/2" (NOMINAL) WITH SPAN RATING 24/0.

PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING.

REFER TO WOOD FRAMING NOTES BELOW FOR TYPICAL NAILING REQUIREMENTS.

39. ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY.

40. PRESERVATIVE TREATED WOOD SHALL BE TREATED PER AWPA STANDARD U1-20 TO THE USE CATEGORY EQUAL TO OR HIGHER THAN THE INTENDED APPLICATION. TREATED WOOD FOR ABOVE GROUND USE SHALL BE TREATED TO AWPA UC3B. WOOD IN CONTINUOUS CONTACT WITH FRESH WATER OR SOIL SHALL BE TREATED TO AWPA UC4A. WOOD FOR USE IN PERMANENT FOUNDATIONS SHALL BE TREATED TO AWPA UC4B.

41. FASTENERS AND TIMBER CONNECTORS USED WITH TREATED WOOD SHALL HAVE CORROSION RESISTANCE AS INDICATED IN THE FOLLOWING TABLE, UNLESS OTHERWISE NOTED.

WOOD TREATMENT	CONDITION	PROTECTION
HAS NO AMMONIA CARRIER	INTERIOR DRY	G90 GALVANIZED
CONTAINS AMMONIA CARRIER	INTERIOR DRY	G185 OR A185 HOT DIPPED OR CONTINUOUS HOT-GALVANIZED PER ASTM A653
CONTAINS AMMONIA CARRIER	INTERIOR WET	TYPE 304 OR 316 STAINLESS
CONTAINS AMMONIA CARRIER AZCA	EXTERIOR ANY	TYPE 304 OR 316 STAINLESS TYPE 304 OR 316 STAINLESS

INTERIOR DRY CONDITIONS SHALL HAVE WOOD MOISTURE CONTENT LESS THAN 19% WOOD MOISTURE CONTENT IN OTHER CONDITIONS (INTERIOR WET, EXTERIOR WET, AND EXTERIOR DRY) IS EXPECTED TO EXCEED 19% CONNECTORS AND THEIR FASTENERS SHALL BE THE SAME MATERIAL. COMPLY WITH THE TREATMENT MANUFACTURERS RECOMMENDATIONS FOR PROTECTION OF METAL.

42. TIMBER CONNECTORS CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-C-2021. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER FOR MAXIMUM LOAD CARRYING CAPACITY. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

ALL 2X JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS. ALL TJI JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "ITS" SERIES JOIST HANGERS. ALL DOUBLE-JOIST BEAMS SHALL BE CONNECTED TO FLUSH BEAMS WITH "MIT" SERIES JOIST HANGERS.

WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER.

ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM)AS MEMBERS CONNECTED.

43. WOOD FASTENERS

A. NAIL SIZES SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d BOX	3-1/2"	0.135"

IF CONTRACTOR PROPOSES THE USE OF ALTERNATE NAILS, THEY SHALL SUBMIT NAIL SPECIFICATIONS TO THE STRUCTURAL ENGINEER (PRIOR TO CONSTRUCTION) FOR REVIEW AND APPROVAL.

NAILS – PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED. TOE-NAILS SHALL BE DRIVEN AT AN ANGLE OF 30 DEGREES WITH THE MEMBER AND STARTED 1/3 THE LENGTH OF THE NAIL FROM THE MEMBER END.

B. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG BOLTS BEARING ON WOOD. INSTALLATION OF LAG BOLTS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION WITH A LEAD BORE HOLE OF 60 TO 70 PERCENT OF THE SHANK DIAMETER. LEAD HOLES ARE NOT REQUIRED FOR 3/8" AND SMALLER LAG SCREWS.

44. NOTCHES AND HOLES IN WOOD FRAMING:

A. NOTCHES ON THE ENDS OF SOLID SAWN JOISTS AND RAFTERS SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. NOTCHES IN THE TOP OR BOTTOM OF SOLID SAWN JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. HOLES BORED IN SOLID SAWN JOISTS AND RAFTERS SHALL NOT BE WITHIN 2 INCHES OF THE TOP OR BOTTOM OF THE JOIST, AND THE DIAMETER OF ANY SUCH HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.

B. IN EXTERIOR WALLS AND BEARING PARTITIONS, ANY WOOD STUD IS PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. A HOLE NOT GREATER IN DIAMETER THAN 40 PERCENT OF THE STUD WIDTH IS PERMITTED TO BE BORED IN ANY WOOD STUD. IN NO CASE SHALL THE EDGE OF THE BORED HOLE BE NEARER THAN 5/8 INCH TO THE EDGE OF THE STUD. BORED HOLES SHALL NOT BE LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

C. NOTCHES AND HOLES IN MANUFACTURED LUMBER AND PREFABRICATED PLYWOOD WEB JOISTS SHALL BE PER THE MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE NOTED.

45. WOOD FRAMING NOTES--THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE, THE AITC "TIMBER CONSTRUCTION MANUAL" AND THE AWC "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO IBC TABLE 2304.10.2. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS.

B. WALL FRAMING: REFER ARCHITECTURAL DRAWINGS FOR THE SIZE OF ALL WALLS. ALL STUDS SHALL BE SPACED AT 16" O.C. UNO. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS, AND AT BEAM OR HEADER BEARING LOCATIONS. TWO 2x8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE CONTINUOUS SOLID BLOCKING AT MID-HEIGHT OF ALL STUD WALLS OVER 10'-0" IN HEIGHT.

ALL WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d @ 12" O.C.. LAP TOP PLATES AT JOINTS A MINIMUM 4'-0" AND NAIL WITH TWELVE 16d NAILS @ 4" O.C. EACH SIDE JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH TWO ROWS OF 16d NAILS @ 12" ON-CENTER, OR ATTACHED TO CONCRETE BELOW WITH 5/8" DIAMETER ANCHOR BOLTS @ 4'-0" ON-CENTER EMBEDDED 7" MINIMUM, UNLESS INDICATED OTHERWISE. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH TWO ROWS OF 16d @12" ON-CENTER. UNLESS OTHERWISE NOTED, GYPSUM WALLBOARD SHALL BE FASTENED TO THE INTERIOR SURFACE OF ALL STUDS AND PLATES WITH NO. 6 X 1-1/4" TYPE S OR W SCREWS @ 8" ON-CENTER. UNLESS INDICATED OTHERWISE, 1/2" (NOMINAL)APA RATED SHEATHING (SPAN RATING 24/0) SHALL BE NAILED TO ALL EXTERIOR SURFACES WITH 8d NAILS @ 6" ON-CENTER AT PANEL EDGES AND TOP AND BOTTOM PLATES (BLOCK UN-SUPPORTED EDGES)AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH 8d NAILS @ 12" ON-CENTER ALLOW 1/8" SPACING AT ALL PANEL EDGES AND PANEL ENDS.

C. FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING BETWEEN RAFTERS AND JOISTS AT ALL BEARING POINTS WITH A MINIMUM OF (3) 16d TOE NAILS EACH END. TOE-NAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI JOIST BEAMS TOGETHER WITH TWO ROWS 16d @ 12" ON-CENTER.

UNLESS OTHERWISE NOTED ON THE PLANS, PLYWOOD ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED AT 6" ON-CENTER WITH 8d NAILS TO FRAMED PANEL EDGES, STRUTS AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" ON-CENTER TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED T&G JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF FLOOR AND ROOF SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" ON-CENTER, MINIMUM TWO NAILS PER BLOCK, UNLESS OTHERWISE NOTED.

D. WOOD SHRINKAGE: MECHANICAL, ELECTRICAL, PLUMBING FIRE PROTECTION, CLADDING, AND OTHER SYSTEMS INSTALLED WITHIN THE BUILDING SHALL BE DESIGNED AND CONSTRUCTED TO ACCOMMODATE 3/8" OF VERTICAL MOVEMENT PER FLOOR LEVEL

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ARCHITECT:
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SHEET TITLE: General Structural Notes Cont'd.

SCALE: 3/4" = 1'-0" U.N.O.
DATE: May 30, 2025
PROJECT NO: 01519-2025-01

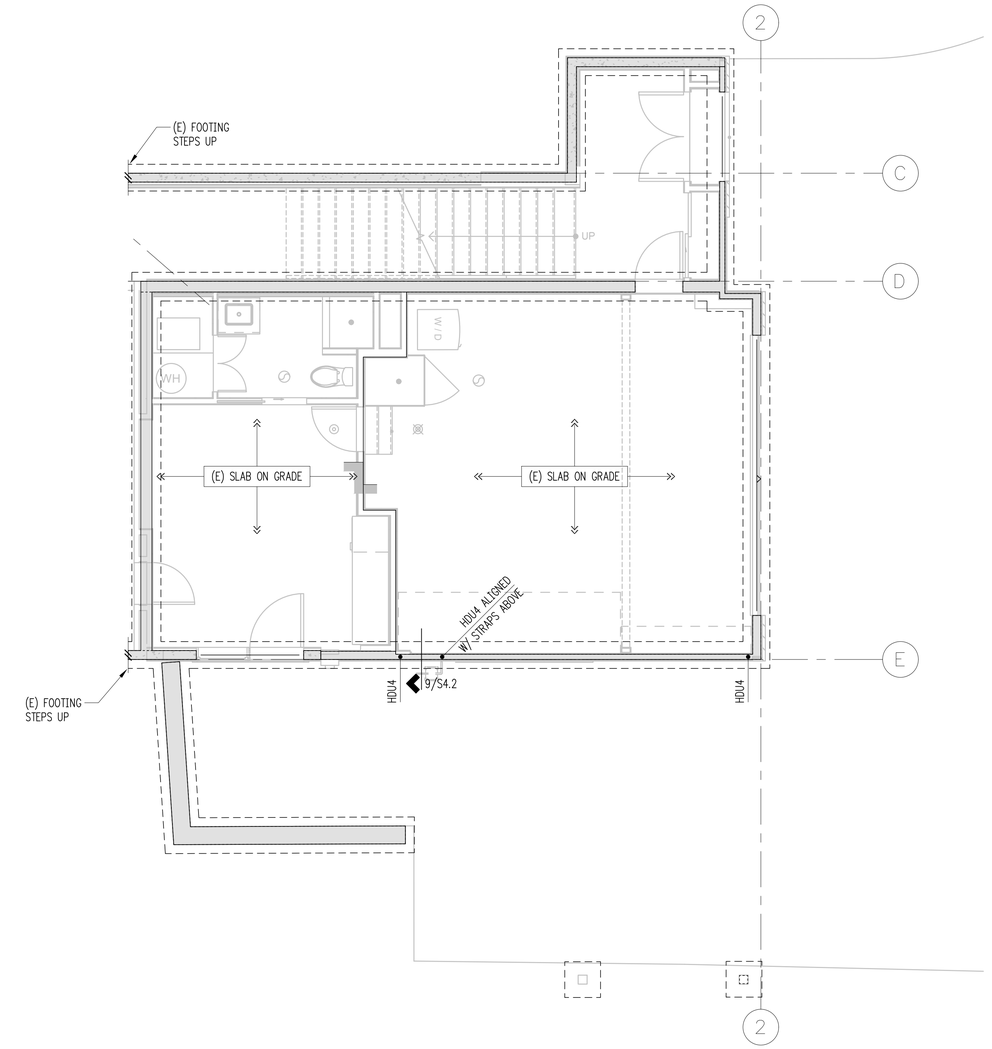
SHEET NO: S1.2

Lower Foundation Plan Notes (TYPICAL, UNLESS NOTED OTHERWISE)

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
3. EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
4. THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
5. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.

Legend

- STRUCTURAL WALL OR POST BELOW
- STRUCTURAL WALL OR POST ABOVE
- (E) STRUCTURAL WALL OR POST ABOVE
- NON-STRUCTURAL WALL BELOW
- EXISTING WALL OR POST BELOW
- EXISTING STEM WALL & FOOTING
- STEM WALL & FOOTING



Lower Floor Framing Plan

Scale: 1/4"=1'-0"

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SHEET TITLE: Lower Foundation Plan

SCALE: 1/4" = 1'-0" U.N.O.
DATE: May 30, 2025
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SHEET NO: S2.1

Upper Foundation Plan Notes (TYPICAL, UNLESS NOTED OTHERWISE)

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
3. EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
4. THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
5. ALL POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.

Lower Floor Framing Plan Notes (TYPICAL, UNLESS NOTED OTHERWISE)

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
3. EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
4. THE BOTTOM OF ALL NEW EXTERIOR FOOTINGS SHALL BE 18" MINIMUM BELOW EXTERIOR GRADE.
5. ALL NEW POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.
6. PROVIDE AC, ACE, PC, EPC, LPC, OR LCE COLUMN CAP AND BASE AT ALL NEW BEAM TO COLUMN CONNECTIONS U.O.N.
7. NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
8. TYPICAL NEW FLOOR FRAMING CONSISTS OF FLOORING PER ARCHITECT OVER 3/4" T&G APA RATED PLYWOOD FACE GRAIN PERPENDICULAR TO FRAMING PER PLAN, U.O.N.
9. NAIL NEW FLOOR SHEATHING W/ 8D AT 6" OC AT FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12" OC IN FIELD.
10. PROVIDE BLOCKING/BRIDGING AT 8'-0" O.C. IN NEW FLOOR FRAMING.
11. "W_" INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR WALL ATTACHMENTS. ALL NEW EXTERIOR WOOD FRAMED WALLS ARE W6, U.O.N.
12. PROVIDE (2) BEARING STUDS AT EACH END OF ALL HEADERS AND BEAMS OVER 3'-0" IN LENGTH, U.O.N.

Legend

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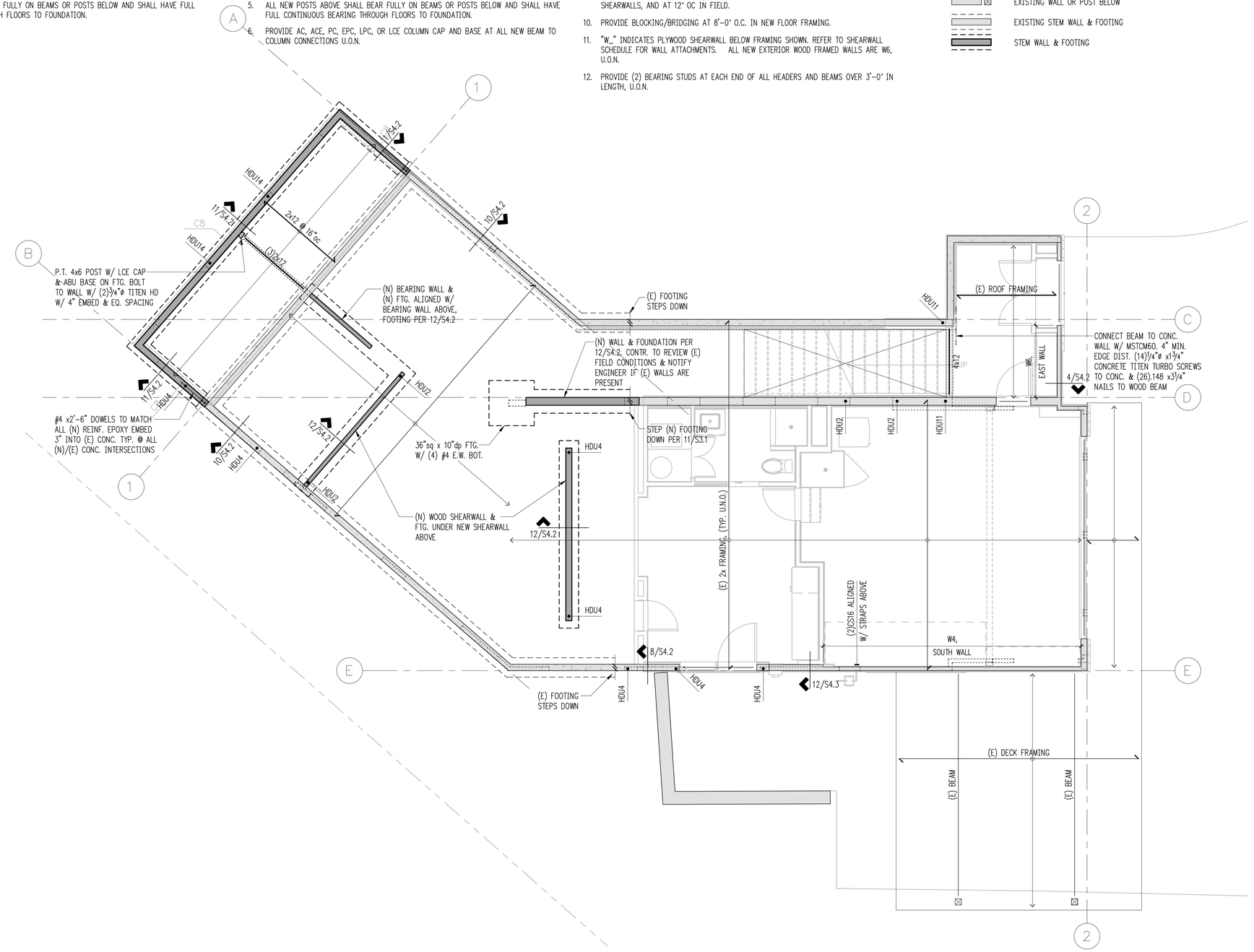
- STEM WALL & FOOTING



Lower Floor Framing Plan & Upper Foundation Plan

Scale: 1/4"=1'-0"

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SHEET TITLE:
Lower Floor Framing Plan & Upper Foundation Plan

SCALE: 1/4" = 1'-0" U.N.O.
DATE: May 30, 2025
PROJECT NO: 01519-2025-01

SHEET NO:
S2.2

Upper Floor Framing Plan Notes (TYPICAL, UNLESS NOTED OTHERWISE)

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4. ALL NEW POSTS ABOVE SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.
5. PROVIDE AC, ACE, PC, EPC, LPC, OR LCE COLUMN CAP AND BASE AT ALL NEW BEAM TO COLUMN CONNECTIONS U.O.N.
6. NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
7. TYPICAL NEW FLOOR FRAMING CONSISTS OF FLOORING PER ARCHITECT OVER 3/4" T&G APA RATED PLYWOOD FACE GRAIN PERPENDICULAR TO FRAMING PER PLAN, U.O.N.
8. NAIL NEW FLOOR SHEATHING W/ 8D AT 6" OC AT FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12" OC IN FIELD.
9. PROVIDE BLOCKING/BRIDGING AT 8'-0" O.C. IN NEW FLOOR FRAMING
10. "W_" INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR WALL ATTACHMENTS. ALL NEW EXTERIOR WOOD FRAMED WALLS ARE W6, U.O.N.
11. PROVIDE (2) BEARING STUDS AT EACH END OF ALL HEADERS AND BEAMS OVER 3'-0" IN LENGTH, U.O.N.

Legend

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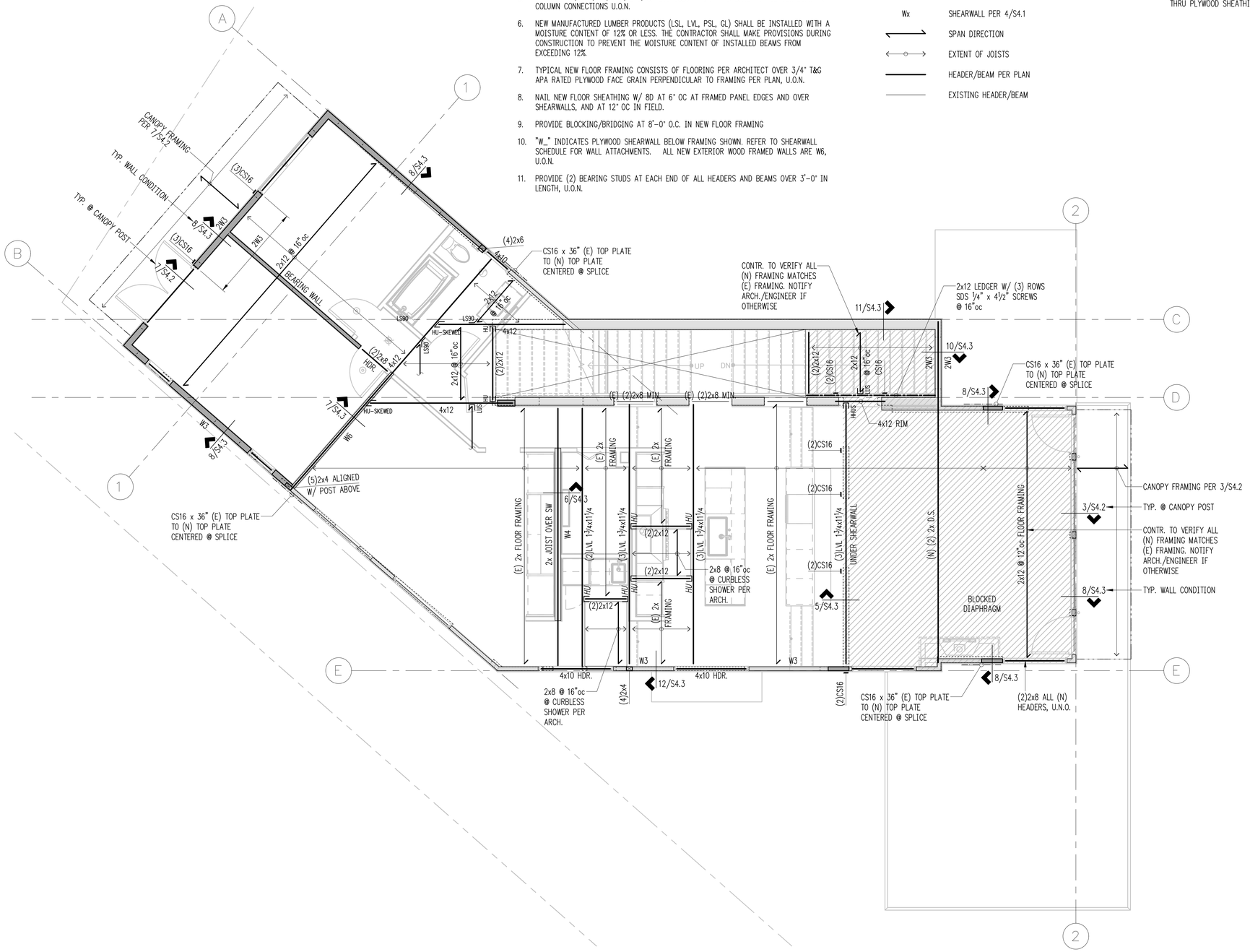
- (E) STRUCTURAL WALL OR POST ABOVE
- NON-STRUCTURAL WALL BELOW
- EXISTING WALL OR POST BELOW
- Wx — SHEARWALL PER 4/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- HEADER/BEAM PER PLAN
- EXISTING HEADER/BEAM
- HANGER
- BLOCKED FLOOR DIAPHRAGM: 2x4 FLAT BLKG. AT ALL PLYWOOD PANEL EDGES. NAIL ALL PLYWOOD PANEL EDGES W/ 8d @ 4"oc & @ 12"oc FIELD
- D.S. — DRAG STRUT – NAIL W/ 8d @ 3"oc THRU PLYWOOD SHEATHING INTO BEAM



Upper Floor Framing Plan

Scale: 1/4"=1'-0"

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ISSUE: PERMIT

SHEET TITLE: Upper Floor Framing Plan

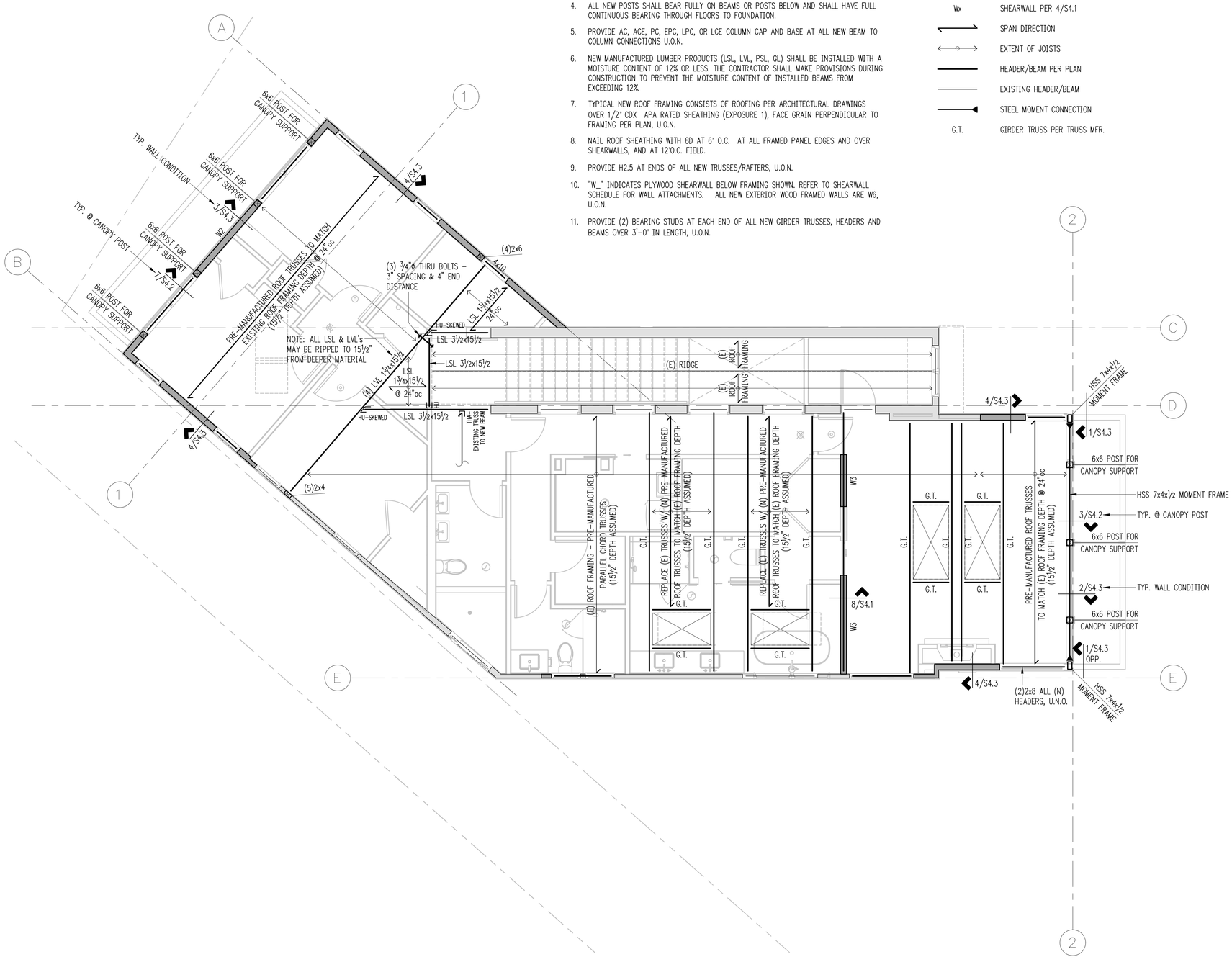
SCALE: 1/4" = 1'-0" U.N.O.
DATE: May 30, 2025
PROJECT NO: 01519-2025-01
SHEET NO: S2.3

Roof Framing Plan Notes (TYPICAL, UNLESS NOTED OTHERWISE)

1. DO NOT SCALE DRAWINGS. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
2. REFER TO GENERAL STRUCTURAL NOTES FOR ADDITIONAL REQUIREMENTS.
3. EXISTING FRAMING ON PLANS IS ASSUMED. CONTRACTOR TO VERIFY DIRECTIONS AND EXTENTS. NOTIFY ARCHITECT AND ENGINEER IF DIFFERENT.
4. ALL NEW POSTS SHALL BEAR FULLY ON BEAMS OR POSTS BELOW AND SHALL HAVE FULL CONTINUOUS BEARING THROUGH FLOORS TO FOUNDATION.
5. PROVIDE AC, ACE, PC, EPC, LPC, OR LCE COLUMN CAP AND BASE AT ALL NEW BEAM TO COLUMN CONNECTIONS U.O.N.
6. NEW MANUFACTURED LUMBER PRODUCTS (LSL, LVL, PSL, GL) SHALL BE INSTALLED WITH A MOISTURE CONTENT OF 12% OR LESS. THE CONTRACTOR SHALL MAKE PROVISIONS DURING CONSTRUCTION TO PREVENT THE MOISTURE CONTENT OF INSTALLED BEAMS FROM EXCEEDING 12%.
7. TYPICAL NEW ROOF FRAMING CONSISTS OF ROOFING PER ARCHITECTURAL DRAWINGS OVER 1/2" CDX APA RATED SHEATHING (EXPOSURE 1), FACE GRAIN PERPENDICULAR TO FRAMING PER PLAN, U.O.N.
8. NAIL ROOF SHEATHING WITH 8D AT 6" O.C. AT ALL FRAMED PANEL EDGES AND OVER SHEARWALLS, AND AT 12"O.C. FIELD.
9. PROVIDE H2.5 AT ENDS OF ALL NEW TRUSSES/RAFTERS, U.O.N.
10. "W_" INDICATES PLYWOOD SHEARWALL BELOW FRAMING SHOWN. REFER TO SHEARWALL SCHEDULE FOR WALL ATTACHMENTS. ALL NEW EXTERIOR WOOD FRAMED WALLS ARE W6, U.O.N.
11. PROVIDE (2) BEARING STUDS AT EACH END OF ALL NEW GIRDER TRUSSES, HEADERS AND BEAMS OVER 3'-0" IN LENGTH, U.O.N.

Legend

- STRUCTURAL WALL OR POST BELOW
- NON-STRUCTURAL WALL BELOW
- EXISTING WALL OR POST BELOW
- Wx — SHEARWALL PER 4/S4.1
- SPAN DIRECTION
- EXTENT OF JOISTS
- HEADER/BEAM PER PLAN
- EXISTING HEADER/BEAM
- STEEL MOMENT CONNECTION
- G.T. — GIRDER TRUSS PER TRUSS MFR.



Roof Framing Plan

Scale: 1/4"=1'-0"

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APPROVED: BDM

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Ackley Residence
9603 SE 61st Place
Mercer Island, WA 98040

ARCHITECT:
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ISSUE: PERMIT

SHEET TITLE: Roof Framing Plan

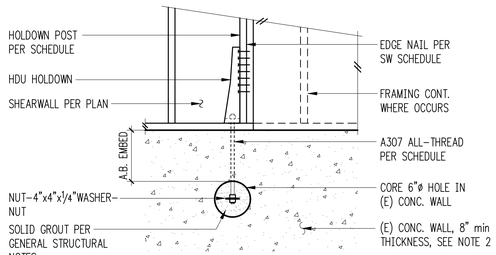
SCALE: 1/4" = 1'-0" U.N.O.
DATE: May 30, 2025
PROJECT NO: 01519-2025-01
SHEET NO: S2.4

1

2

3

4

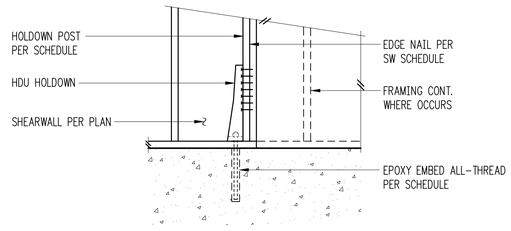


Holdown Schedule

Plan Mark	Screws	Anchor Bolt	A.B. Embed	Holdown Post ① if 2x4	Holdown Post ① if 2x6
HDU11	(30)SDS 1/4"x2 1/2	1"ø	60"	4x8	6x6

① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.
② FIELD VERIFY CONCRETE WALL THICKNESS. ENGINEER TO BE NOTIFIED IF EXISTING WALL THICKNESS IS LESS THAN 8".

Typical HDU Holdown at Existing Concrete Wall 5

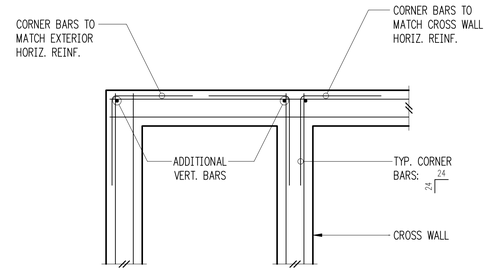


Holdown Schedule

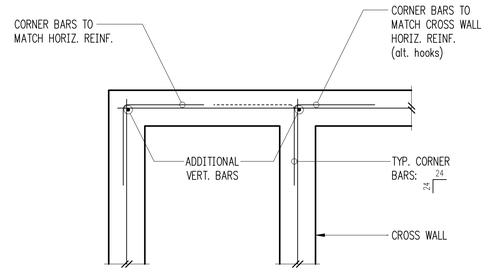
Plan Mark	Screws	Anchor Bolt	A.B. Embed	Holdown Post ① if 2x4	Holdown Post ① if 2x6
HDU2–SDS2.5	(6)SDS 1/4"x2 1/2"	5/8"ø	12"	(2) 2x4	(2) 2x6
HDU4–SDS2.5	(10)SDS 1/4"x2 1/2"	5/8"ø	16"	4x4	4x6

① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

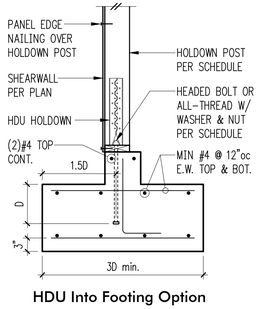
Typical HDU Holdown 6



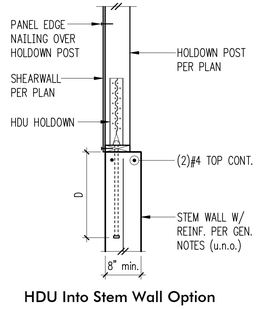
Double Curtain



Typical Corner Bars at Concrete Walls and Footings 8



HDU Into Footing Option



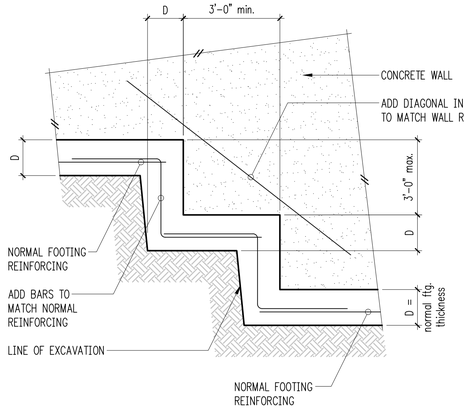
HDU Into Stem Wall Option

Holdown Schedule

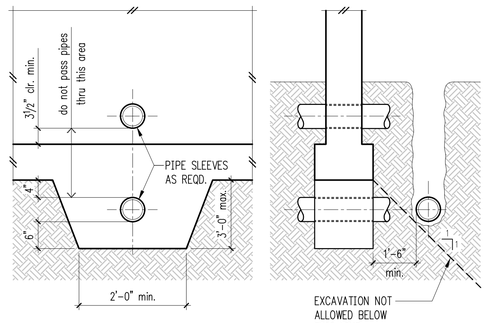
Plan Mark	Screws	Anchor Bolt	Min. A.B. Embed (D) Stem Wall	Min. A.B. Embed (D) Footing	Holdown Post ① if 2x4	Holdown Post ① if 2x6
HDU2–SDS2.5	(6)SDS 1/4"x2 1/2"	5/8"ø	12"	4"	(2) 2x4	(2) 2x6
HDU4–SDS2.5	(10)SDS 1/4"x2 1/2"	5/8"ø	18"	6"	4x4	4x6
HDU5–SDS2.5	(14)SDS 1/4"x2 1/2"	5/8"ø	SB5/8x24	7"	4x4	4x6
HDU8–SDS2.5	(20)SDS 1/4"x2 1/2"	7/8"ø	SSTB28	8"	4x6	6x6
HDU11–SDS2.5	(30)SDS 1/4"x2 1/2"	1"ø	SB1x30	10"	4x8	6x6
HDU14–SDS2.5	(36)SDS 1/4"x2 1/2"	1"ø	N/A	12"	4x8	6x6

① MINIMUM SIZE OF POST AT END OF WALL UNLESS OTHERWISE NOTED ON FRAMING PLANS.

Typical HDU Holdown 10



Typical Stepped Footing 11



Pipe and Trench Locations 12

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JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:
Ackley Residence
9603 SE 61st Place
Mercer Island, WA 98040

ARCHITECT:
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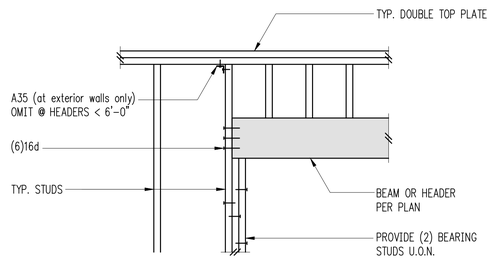
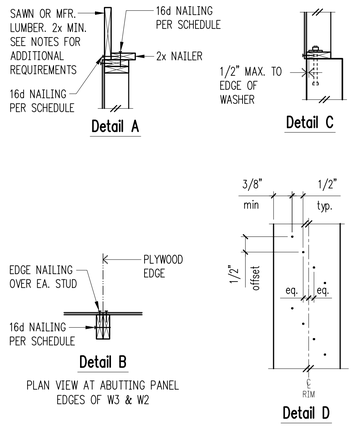
ISSUE: PERMIT

SHEET TITLE: Typical Concrete Details

SCALE: 3/4" = 1'-0" U.N.O.
DATE: May 30, 2025
PROJECT NO: 01519-2025-01
SHEET NO: S3.1



Typical Header Support w/2 Bearing Studs 2



Shearwall Schedule ①②③⑥⑦⑧

Mark	Sheathing	Panel Edge Nailing	Top Plate Connection		Base Plate Connection	
			if TJI	if Wood ⑨	at Wood ⑪⑫	at Concrete
W6	15/32" CDX PLYWOOD	8d @ 6"oc	16d @ 6"oc	A35 @ 24"oc ⑩	16d @ 6"oc	5/8"ø A.B. @ 48"oc
W4	15/32" CDX PLYWOOD	8d @ 4"oc	16d @ 4"oc	A35 @ 16"oc ⑩	(2)rows 16d @ 6"oc	5/8"ø A.B. @ 32"oc
W3 ④	15/32" CDX PLYWOOD	8d @ 3"oc	(2)rows 16d @ 4"oc	A35 @ 12"oc ⑩	(2)rows 16d @ 6"oc	5/8"ø A.B. @ 24"oc
W2 ④	15/32" CDX PLYWOOD	8d @ 2"oc	(2)rows 16d @ 4"oc	A35 @ 9"oc ⑩	(2)rows 16d @ 4"oc ⑬	5/8"ø A.B. @ 16"oc
2W3 ⑤	15/32" CDX PLYWD. EA. SIDE	8d @ 3"oc EA. SIDE	n/a	A35 @ 6"oc	(3)rows 16d @ 4"oc ⑭	5/8"ø A.B. @ 16"oc
2W2 ⑤	15/32" CDX PLYWD. EA. SIDE	8d @ 2"oc EA. SIDE	n/a	HGA10KT @ 8"oc	(3)rows 16d @ 4"oc ⑭	5/8"ø A.B. @ 12"oc
W2–10 ④	15/32" CDX PLYWD.	10d @ 2"oc	n/a	A35 @ 6"oc	(3)rows 16d @ 4"oc ⑭	5/8"ø A.B. @ 16"oc

① BLOCK PANEL EDGES WITH 2x MIN. LAID FLAT AND NAIL PANELS TO INTERMEDIATE SUPPORTS WITH 8d @ 12"o.c.
② 8d NAILS SHALL BE 0.131"ø x 2 1/2" (common) – 16d NAILS SHALL BE 0.135"ø x 3 1/2" (box) – 10d NAILS SHALL BE 0.148"ø x 3" (common).
③ EMBED ANCHOR BOLTS AT LEAST 7". DRILLED AND EPOXIED THREADED ROD MAY BE SUBSTITUTED FOR ANCHOR BOLTS WITH 6" EMBEDMENT. TITEN HD SCREW ANCHORS MAY BE SUBSTITUTED FOR ANCHOR BOLTS W/ 4" EMBEDMENT. ALL BOLTS SHALL HAVE 3" x 3" x 1/4" MIN. PLATE WASHERS. PLATE WASHERS SHALL EXTEND TO WITHIN 1/2" OF THE EDGE OF THE BOTTOM PLATE ON THE SIDE WITH SHEATHING. SEE DETAIL C.
④ 3x STUDS OR DOUBLE STUDS NAILED TOGETHER W/ BASE PLATE NAILING ARE REQUIRED AT ABUTTING PANEL EDGES OF W3 AND W2. SEE DETAIL B. WHERE 3x STUDS ARE USED FOR W2, STAGGER NAILS AT ADJOINING PANEL EDGES.
⑤ 3x FOUNDATION SILL PLATES ARE REQUIRED FOR 2W3 AND 2W2. 3x STUDS ARE REQUIRED AT ABUTTING PANEL EDGES AND PANEL JOINTS SHALL BE OFFSET EACH SIDE OF WALL. STAGGER NAILS AT ADJOINING PANEL EDGES. 3x STUD, MIN., REQUIRED AT END OF SHEARWALL.
⑥ TWO STUDS MINIMUM ARE REQUIRED AT EACH END OF ALL SINGLE–SIDED SHEARWALLS. ALL END STUDS SHALL RECEIVE PANEL EDGE NAILING. SEE PLANS AND HOLDOWN SCHEDULE FOR ALTERNATE REQUIREMENTS.
⑦ ALL EXTERIOR WALLS SHALL BE W6, UNLESS NOTED OTHERWISE.
⑧ 7/16" O.S.B. MAY BE SUBSTITUTED FOR 15/32" CDX, EXCEPT AT 10d PANEL EDGE NAILING.
⑨ LTP4's (HORIZONTAL ORIENTATION) W/ 8d COMMON MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
⑩ A 2x NAILER ATTACHED W/ BASE PLATE NAILING PER DETAIL A MAY BE SUBSTITUTED FOR A35's AT CONTRACTORS OPTION.
⑪ AT MULTI–ROW NAILING, MINIMUM OFFSET BETWEEN ROWS AND ROW SPACING 1/2", SEE DETAIL D.
⑫ LVL RIMS PERMITTED AT SINGLE SIDED SHEAR WALLS ONLY.
⑬ PROVIDE (3) ROWS 16d @ 6"oc AT LVL RIMS.
⑭ MINIMUM RIM OR JOIST 3½" WIDE BELOW SHEARWALL.

Shearwall Schedule - (Sheathed One & Two Sides) 4

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CHECKED: BDM
APPROVED: BDM

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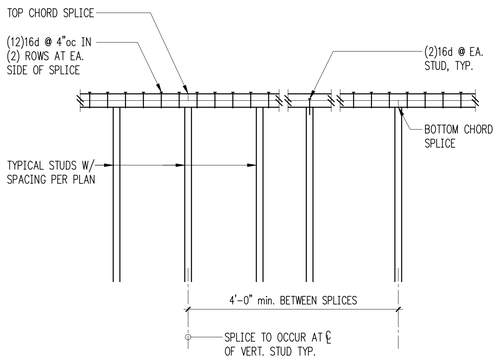
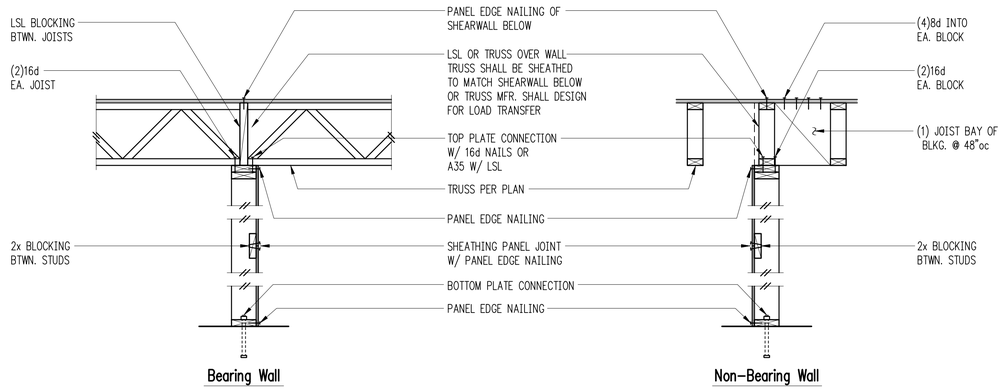
JURISDICTIONAL APPROVAL STAMP:



Typical Top Plate Splice 6



Typical Shearwall Construction 8

ARCHITECT:
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brandtdesigninc.com

ISSUE:
PERMIT

SHEET TITLE:
Typical Wood Framing Details

SCALE: 3/4" = 1'-0" U.N.O.
DATE: May 30, 2025
PROJECT NO: 01519-2025-01
SHEET NO: S4.1

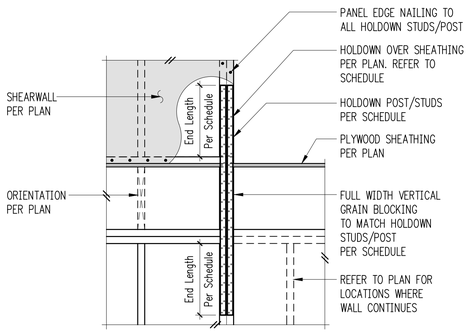
PROJECT TITLE:
Ackley Residence
9603 SE 61st Place
Mercer Island, WA 98040

	A	B	C
PLAN VIEW	spacing	spacing	spacing
SECTION			1½" 3" 1½"
# OF WOOD BMS (LVL)	2–1¾"	3–1¾"	4–1¾"
SDW22 SCREW SIZE	0.220x3	0.220x5	0.220x6
# OF SDW22 SCREWS	2	2	2
SPACING OF SDW22 SCREWS	12"OC	12"OC	12"OC

NOTES:
– MIN. SCREW END DISTANCE = 6"

NOTE: MAY USE SDS ¼" @ CONTRACTORS OPTION

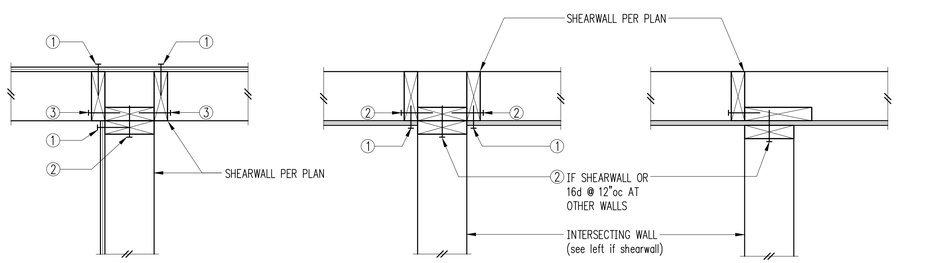
Sistering Schedule for Multi Beams (SDWS) 9



Holdown Strap Schedule

Plan Mark	End Length	#Nails Ea. End Length	Holdown Studs/Post	
			if 2x4	if 2x6
CS16	1'–2"	(13) 8d	(1) 2x4	(1) 2x6
CMST14	2'–6"	(33) 10d	4x6	4x6
CMST12	3'–3"	(43) 10d	4x8	6x6

Typical Holdown Schedule 10

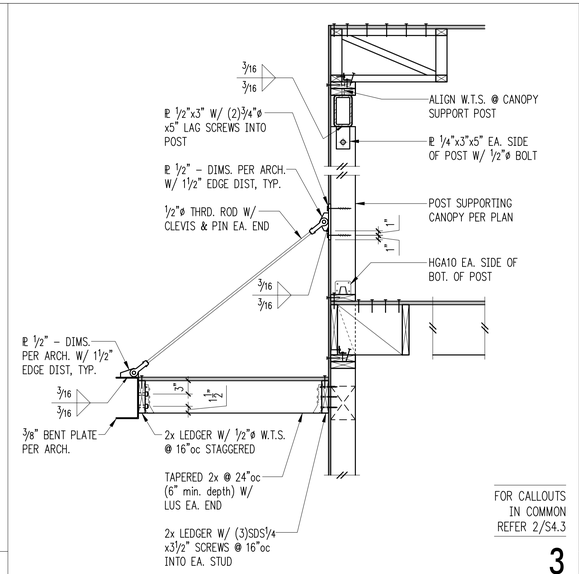


① PLYWOOD PANEL EDGE NAILING PER SHEARWALL SCHEDULE
② BASE PLATE NAILING PER SHEARWALL SCHEDULE
③ 16d @ 8"oc

Typical Shearwall Intersections 12

1

2



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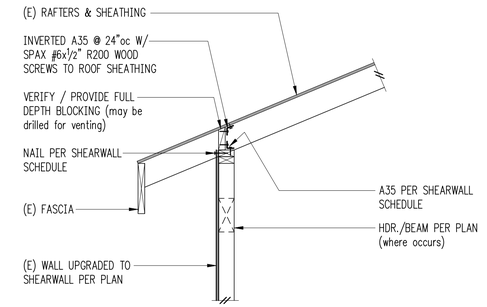

Existing Exterior Roof Bearing 4

5

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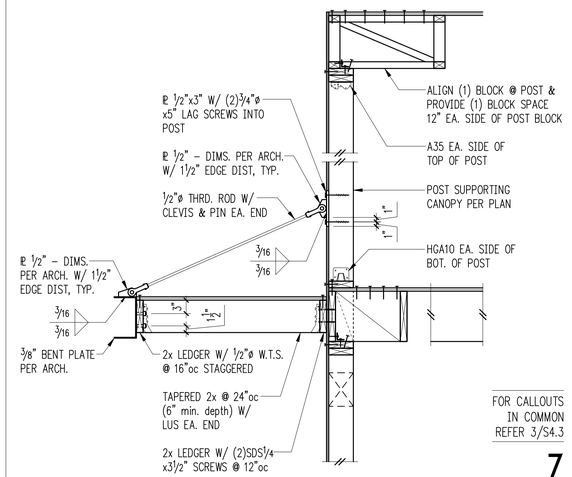

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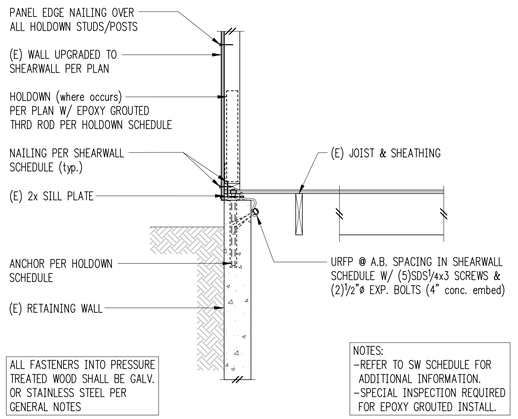
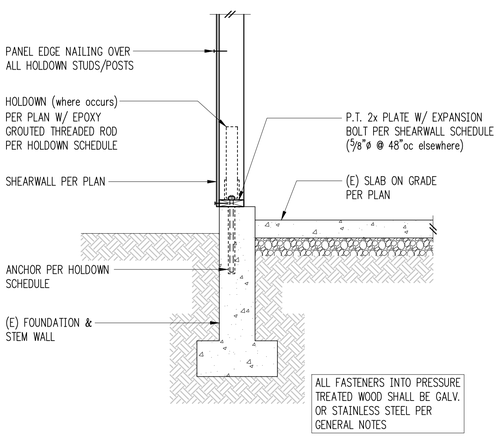
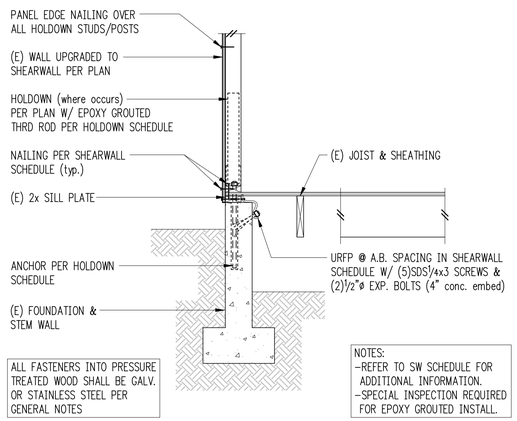


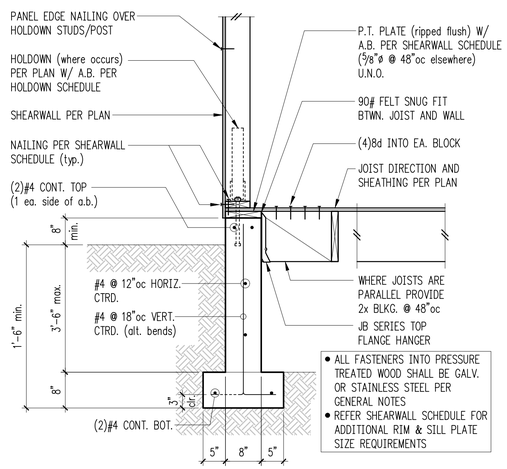
Existing Framing at Basement Retaining Wall 8



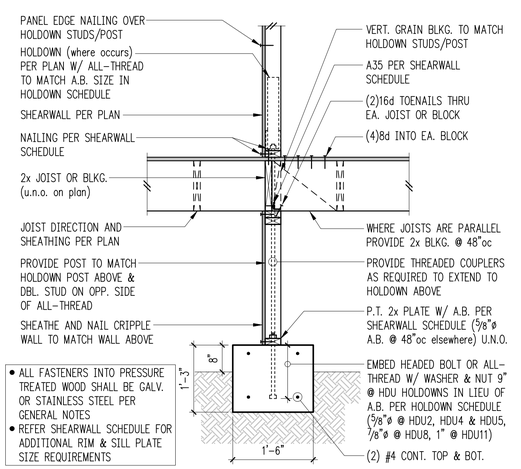
New Exterior Wall W/ Existing Slab & Foundation 9



Existing Framing at Crawl Space 10



Exterior Framing at Crawl Space 11



Interior Cripple Wall at Crawl Space 12

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CHECKED: BDM
APPROVED: BDM

REVISIONS:

JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

Ackley Residence
9603 SE 61st Place
Mercer Island, WA 98040

ARCHITECT:
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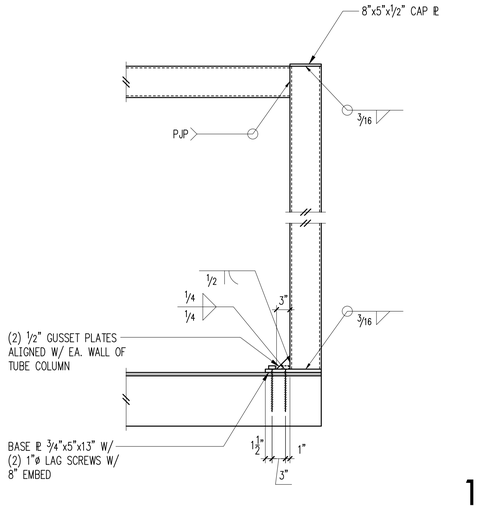
ISSUE: PERMIT

SHEET TITLE: Wood Framing Details

SCALE: 3/4" = 1'-0" U.N.O.
DATE: May 30, 2025
PROJECT NO: 01519-2025-01
SHEET NO: S4.2



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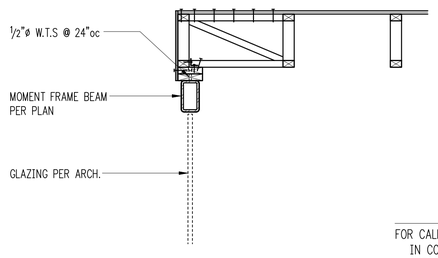
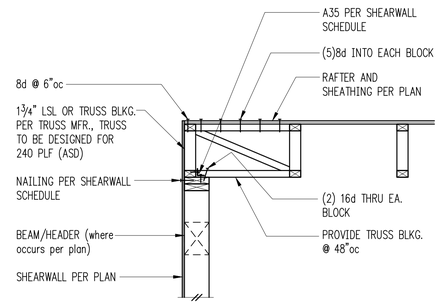
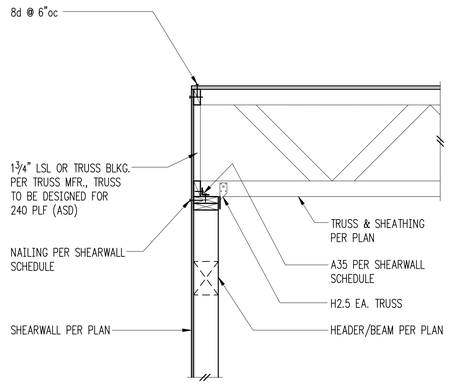


FOR CALLOUTS IN COMMON SEE 3/S4.3

2



Rafters Parallel to Exterior Wall 3



Truss Perpendicular to Exterior Wall 4

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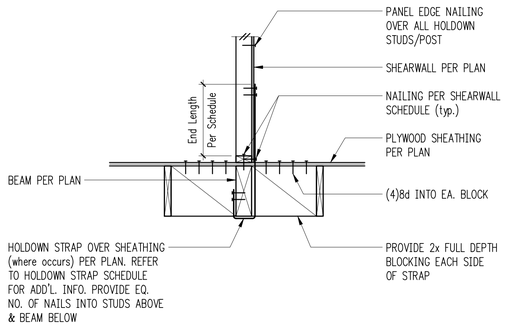
CHECKED: BDM
APPROVED: BDM

REVISIONS:

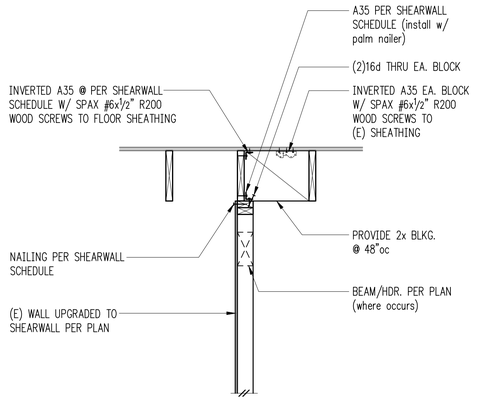
JURISDICTIONAL APPROVAL STAMP:

PROJECT TITLE:

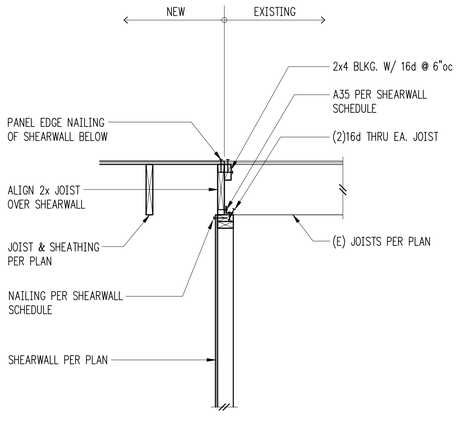
Ackley Residence
9603 SE 61st Place
Mercer Island, WA 98040



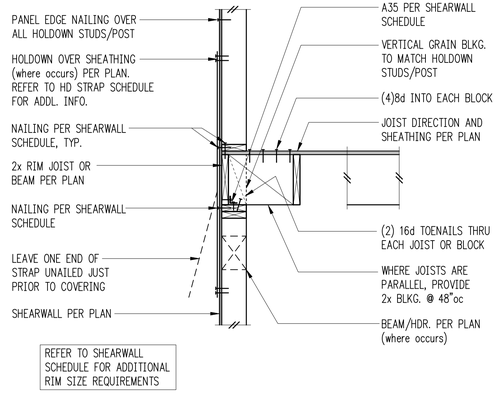
CS/CMST Holdown at Floor Beam Parallel 5



Interior Shearwall Below Existing Floor 6

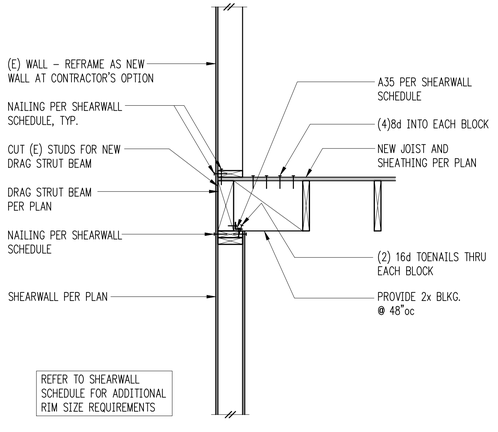


Interior Shearwall Below Floor 7

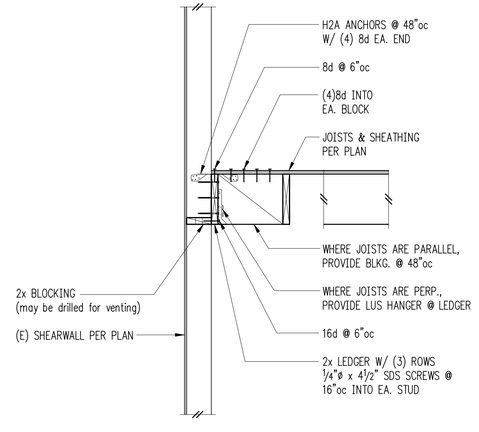


Exterior Floor Framing 8

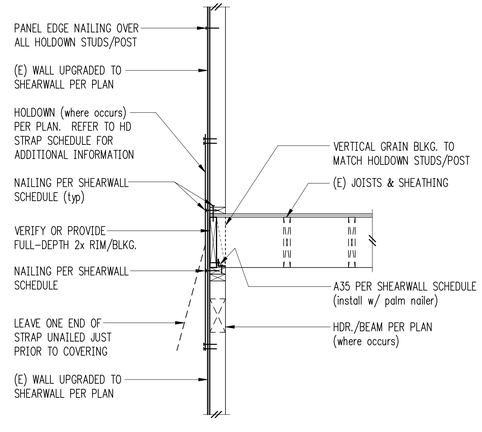
9



Exterior Floor Framing 10



11



Existing Exterior Floor Framing 12

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ISSUE:
PERMIT

SHEET TITLE:
Wood Framing Details

SCALE: 3/4" = 1'-0" U.N.O.
DATE: May 30, 2025
PROJECT NO: 01519-2025-01
SHEET NO: S4.3